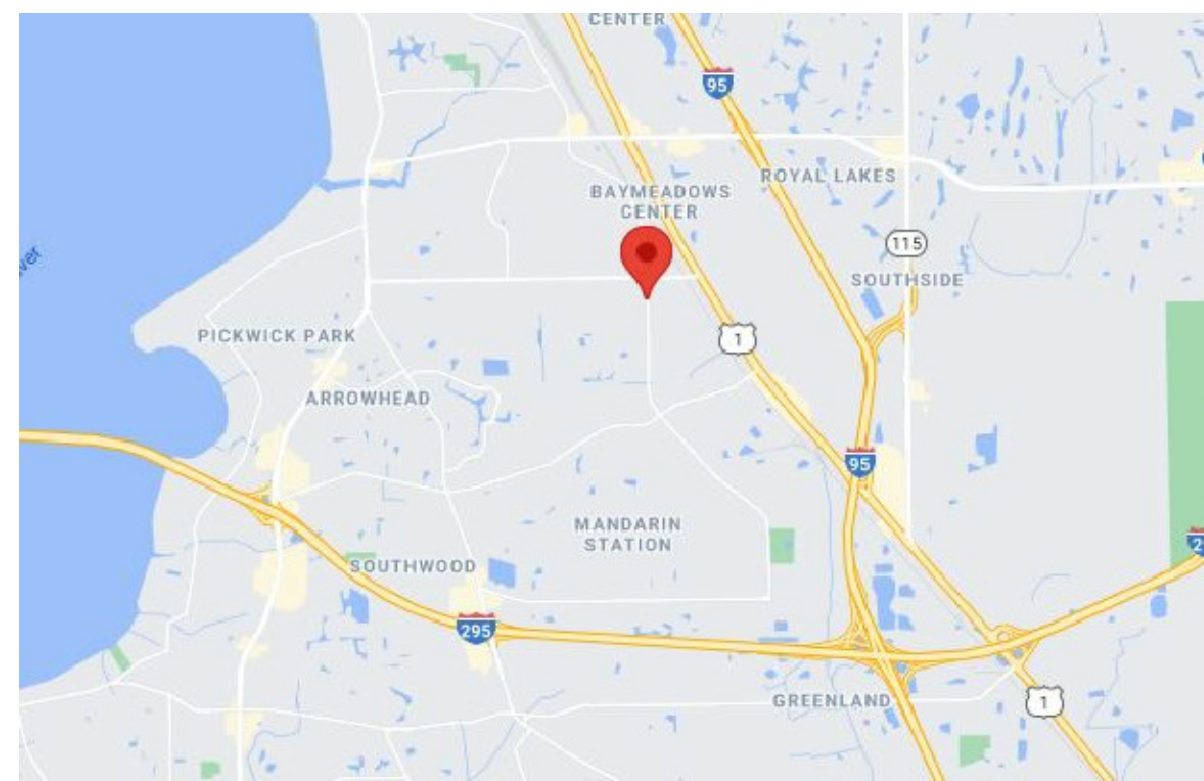


VICINITY MAP



PROJECT LOCATION

"NEW CONSTRUCTION"
ELEVATION "A" & LEFT RISER ROOM
38x58 QUAD
9612 HOOD ROAD - LOT #1
JACKSONVILLE FLORIDA



JAA ARCHITECTURE

2716 ST. JOHNS AVENUE
JACKSONVILLE FL. 32205
AR 92748
(904)379-5108

DATE: 05.11.2022
PROJECT # 19-123.04

GENERAL NOTES

A-INTENT & USE OF CONSTRUCTION DOCUMENTS

- 1. THE PURPOSE OF THESE DOCUMENTS IS TO CONVEY DESIGN INTENT ONLY. THE CONTRACTOR SHALL A) BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK...
2. THE CONTRACTOR WILL BE PRESUMED TO HAVE INSPECTED THE SITE AND TO HAVE READ AND TO BE THOROUGHLY FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS...
3. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS, OR WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLE FOR SUCH PORTION OF THE WORK...
4. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS...
5. THE ARCHITECT RESERVES THE RIGHT TO REJECT ITEMS INCORPORATED INTO THE WORK WHICH FAIL TO MEET THE SPECIFIED MINIMUM REQUIREMENTS...

B-PERMITS, FEES, TAXES, & NOTICES

- 1. THE CONTRACTOR SHALL PAY ALL SALES, CONSUMER, AND OTHER SIMILAR TAXES FOR THE WORK OR PORTIONS THEREOF PROVIDED BY THE CONTRACTOR WHICH ARE LEGALLY ENACTED AT THE TIME OF CONSTRUCTION...
2. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND FOR ALL OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK...
3. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK...
4. THE CONTRACTOR SHALL EXERCISE REASONABLE EFFORT TO MAKE CERTAIN THAT THE CONTRACT DOCUMENTS ARE IN ACCORDANCE WITH APPLICABLE LAWS, STATUTES, BUILDING CODES AND REGULATIONS...
5. IF THE CONTRACTOR PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO SUCH LAWS, ORDINANCES, RULES AND REGULATIONS, AND WITHOUT SUCH NOTICE TO DESIGNER, HE SHALL ASSUME FULL RESPONSIBILITY THEREFORE AND SHALL BEAR ALL COSTS ATTRIBUTABLE THERETO.

C-COORDINATION & SUPERVISION

- 1. ALL WORK TO BE SCHEDULED DURING REGULAR BUSINESS HOURS UNLESS NOTED OTHERWISE...
2. CONTRACTOR TO PROVIDE ADVANCE NOTIFICATION TO TENANT'S REPRESENTATIVE WHEN TENANT OR THEIR CONTRACTOR(S) ARE REQUIRED AT JOB SITE FOR COORDINATION MEETINGS OR INSTALLATIONS...
3. UPON COMPLETION OF THE WORK, THE CONTRACTOR TO NOTIFY BUILDING OWNER REPRESENTATIVE THAT THE PROJECT IS READY FOR INSPECTION...
4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION...
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES...
6. THE CONTRACTOR TO, AT ALL TIMES, KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH; PREMISES TO BE SHEPT CLEAN DAILY...
7. THE CONTRACTOR TO PROVIDE FINAL CLEANING OF ALL AREAS OF WORK INCLUDING THE CONSTRUCTION ACCESS ROUTE. FINAL CLEANING TO INCLUDE WINDOWS AND CEILINGS.

D-LABOR, MATERIALS, & WARRANTY

- 1. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK...
2. THE CONTRACTOR SHALL AT ALL TIMES ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG THE CONTRACTOR'S EMPLOYEES AND SHALL NOT EMPLOY ON THE WORK ANY UNFIT PERSON OR ANYONE NOT SKILLED IN THE TASK ASSIGNED THEM...
3. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENT LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR...
4. CONTRACTOR AND SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS

FIRE MARSHALL NOTES

- SHOWN ON DOCUMENTS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS PRIOR TO PROCEEDING WITH THE WORK...
5. EACH TRADE WILL BE EXPECTED TO PROCEED IN A FASHION THAT WILL NOT DELAY OTHER TRADES...
6. THE CONTRACTOR IS RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION...
7. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGER SCALE DRAWINGS TO GOVERN OVER SMALLER SCALE DRAWINGS...
8. DIMENSIONS ARE TO THE FINISHED FACE OF NEW CONSTRUCTION. DIMENSIONS ARE NOMINAL UNLESS OTHERWISE INDICATED...
9. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR IS RESPONSIBLE TO GET CLARIFICATION AND DIRECTION FROM ARCHITECT PRIOR TO PROCEEDING WITH THE WORK...
10. THE CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK UNLESS OTHERWISE NOTED...
11. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BLOCKING FOR WALL SUPPORTED ELEMENTS INCLUDING MILLWORK, EQUIPMENT, FIXTURES AND FURNITURE. CONTRACTOR TO VERIFY EXTENT AND COORDINATE WITH APPROPRIATE SUBCONTRACTORS...

- 12. ALL MATERIALS TO BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED...
11. THERE WILL BE NO SUBSTITUTIONS OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED, WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, ARCHITECT TO DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR...
12. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS FOR THE TYPE OF MATERIAL AND INSTALLATION SPECIFIED...
13. PAINT TO BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS OVER PROPERLY PREPARED SURFACES...
14. MILLWORK TO CONFORM WITH ANI STANDARDS FOR PREMIUM GRADE MILLWORK...
15. DRYWALL CONTRACTOR TO CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER TRADES...
16. THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED...

E- INSTALLATION NOTES (MAY NOT APPLY)

- 1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT TO OPERATE QUIETLY AND BE FREE OF VIBRATION...
2. UNLESS OTHERWISE NOTED IN MECHANICAL DRAWINGS OR SPECIFICATIONS, HOLD DUCTS AND MECHANICAL EQUIPMENT TIGHT TO STRUCTURE ABOVE...
3. THE CONTRACTOR SHALL NOT LOCATE CEILING DIFFUSERS OR REGISTERS WHERE FULL HEIGHT SHELVING, FILES OR STORAGE UNITS ARE INDICATED ON PLANS...
4. ALL CEILING DIFFUSERS AND REGISTERS TO BE THE SAME COLOR AS THE CEILING UNLESS NOTED OTHERWISE...
5. ALL SURFACES TO BE PROPERLY PRIMED OR PREPARED PRIOR TO INSTALLATION OF SPECIFIED FINISHES...
6. PROVIDE ALL NECESSARY CUT-OUTS FOR THE INSTALLATION OF ELECTRICAL AND VOICE/DATA OUTLETS, THERMOSTATS, SWITCHES AND OTHER DEVICES...
7. EXTEND ALL FIRE RATED PARTITIONS TO STRUCTURE, FILL ALL VOIDS WITH FIRE SAFING MATERIAL OR FIRE-RATED CAULK, CONTINUOUS AS REQUIRED BY CODE...
8. ALL FIRE EXTINGUISHER CABINETS OR ELECTRICAL PANELS LOCATED IN RATED PARTITIONS TO BE BACKED WITH GYPSUM BOARD AS REQUIRED TO MAINTAIN PARTITION RATING...
9. CONTRACTOR IS RESPONSIBLE FOR FIRESTOPPING ALL NEW AND EXISTING FIRE RATED PARTITIONS AND ALL PENETRATION THROUGH RATED AREAS INCLUDING SLABS...
10. WHERE EXISTING FIREPROOFING HAS BEEN REMOVED AT COLUMNS OR BEAMS, NEW FIREPROOFING TO BE INSTALLED TO COMPLY WITH THE REQUIRED FIRE RATING...
11. WHERE PIPES, CONDUITS OR LOW TENSION WIRING PENETRATE A FIRE RATED ENCLOSURE, THE SPACE AROUND SHALL NOT EXCEED 1/2" AND SHALL BE PACKED SOLID WITH BATT INSULATION AND FITTED WITH ESCUTCHEON PLATES ON BOTH SIDES OR EQUIVALENT TREATMENT TO INSURE COMPLIANCE WITH FIRE RATINGS...
12. WHERE DUCT OR PART OF DUCT IS RUNNING PARALLEL OVER FIRE RATED PARTITION, EXTEND RATED PARTITION AROUND DUCT TO EFFECT COMPLETE MAINTENANCE OF FIRE-RATING.

1. ALL FINISH HARDWARE TO BE ADA COMPLIANT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA 101 LIFE SAFETY CODE (12.1.5)
2. FIRE EXTINGUISHERS SHALL BE PROVIDED, INSTALLED, INSPECTED AND TAGGED BY A LICENSED FIRE EXTINGUISHER COMPANY.
3. INDOOR FIRE EXTINGUISHERS TO BE ABC TYPE.
3. ALL LOCKED DOORS WITHIN THE DESIGNED FACILITY IF PROVIDED WITH A LOCK, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFECT FOR OPERATION FROM THE EGRESS SIDE.
4. CONTRACTOR TO PROVIDE AN EXTERIOR ELECTRICAL DISCONNECT.
5. THIS PROJECT DOES CONTAIN LIGHT FRAME TRUSS TYPE MATERIALS AND DOES NEED TO BE LABELED ACCORDING TO FAC 69A-60.0081.

Table with 3 columns: CLASS, FLAME SPREAD INDEX, SMOKE-DEVELOPED INDEX. Rows A, B, C. Includes interior exist, stairways, interior exit ramps, corridors, enclosure for exit access, stairways, exit access ramps, rooms & enclosed spaces.

Table with 2 columns: BUILDING AREAS | LEVEL 1, BUILDING AREAS | LEVEL 2. Rows: 1ST FLOOR HEATED AREA, FRONT ENTRY & STAIR, 2ND FLOOR HEATED AREA, FRONT ENTRY & STAIR, TOTAL UNDER ROOF, TOTAL CONDITIONED SPACE.

SHEET INDEX table with columns: SHEET #, DESCRIPTION OF SHEET, REV. #, REV. DATE. Rows A0 through P1.0.

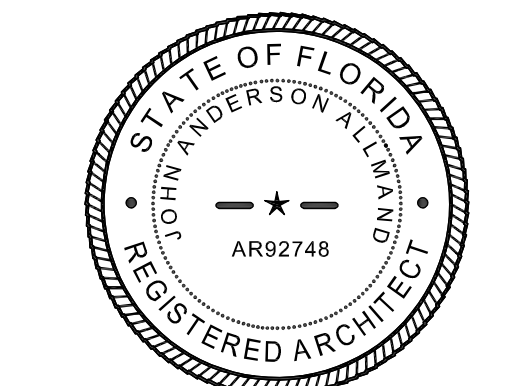
CODE SUMMARY

Table with 2 columns: APPLICABLE CODES, FLORIDA BUILDING CODE 7TH EDITION 2020, FLORIDA EXISTING BUILDING 7TH EDITION 2020, FLORIDA PLUMBING CODE 7TH EDITION 2020, FLORIDA MECHANICAL CODE 7TH EDITION 2020, FLORIDA ACCESSIBILITY CODE 7TH EDITION 2020. Includes occupancy type, construction type, sprinklered, occupant load, gross building areas, allowable height, proposed height, proposed stories, proposed common path, required egress width, min. means of egress width, prop. means of egress width.

SHEET INDEX table with columns: SHEET #, DESCRIPTION OF SHEET, REV. #, REV. DATE. Rows A0 through P1.0.

Table with 2 columns: APPLICABLE CODES, 7TH EDITION FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRECODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION. Includes occupancy type, hazard classification, construction type, building repair, sprinklered, occupant load, building area, gross area under roof, unit gross areas, building height, building stories, means of egress, required # of exits, proposed # of exits, max travel distance, proposed travel dist., common path of travel, max dead-end limit, required egress width, min. means of egress width, prop. means of egress width, emergency lighting.

IF IT IS DETERMINED THAT RADIO SIGNAL STRENGTHS ARE BELOW THE ACCEPTABLE -45 DBM, AN IN-BUILDING EMERGENCY RESPONDER RADIO COMMUNICATIONS SYSTEM MEETING THE REQUIREMENTS OF NFPA 72, 2018 WILL BE INSTALLED.



THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMANN, ARCHITECT ON 05.18.2022 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE KEPT ON ANY ELECTRONIC COPIES. APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

- 13.2022 REVIEW COMMENTS
2.2.2022 REVIEW COMMENTS
5.18.2022 REVIEW COMMENTS

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633, FLORIDA STATUTES. TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION 2020 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

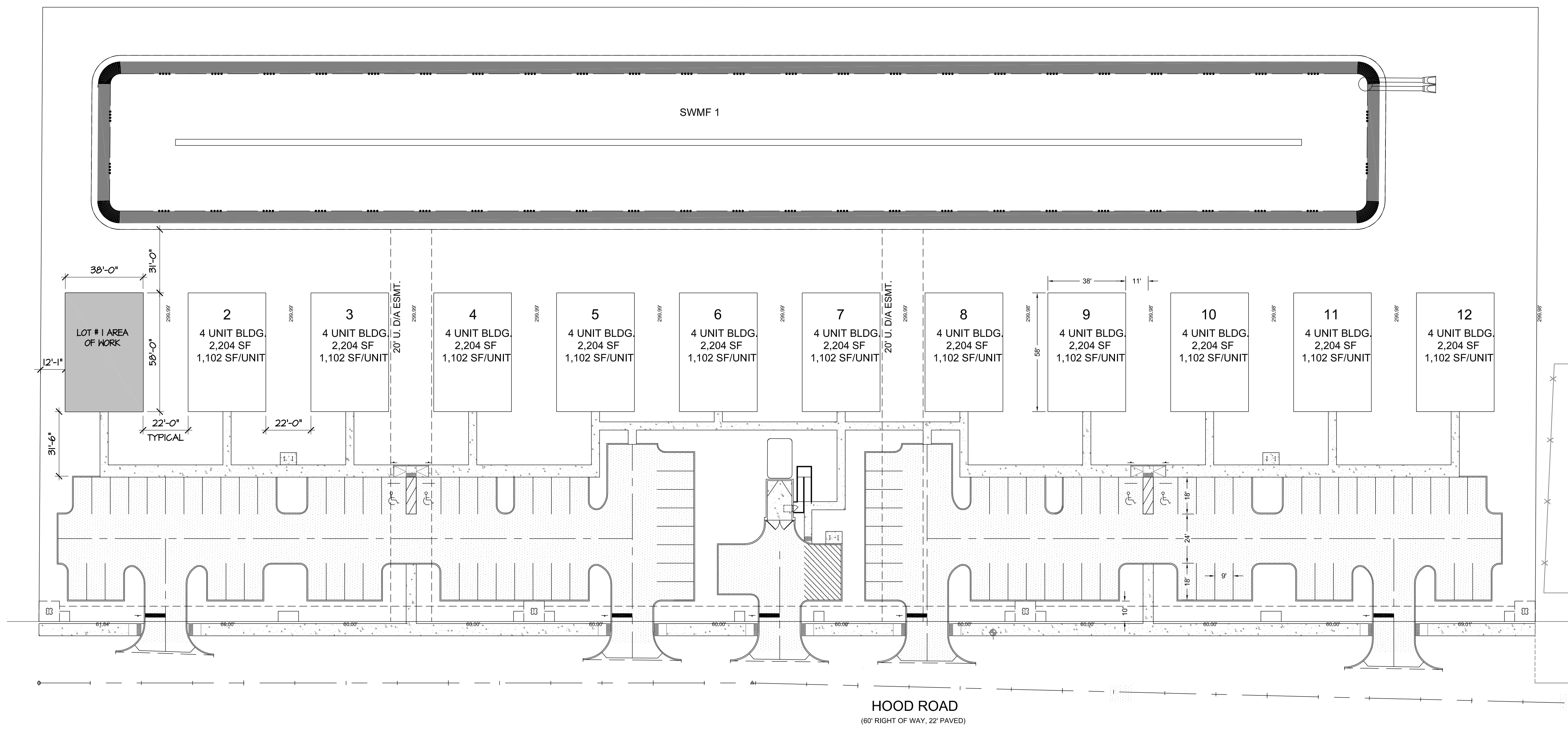


JAA ARCHITECTURE-INC
 2716 ST. JOHNS AVE.
 JACKSONVILLE FL 32205
 P: (904) 379-5108
 E: JOHN@JAAARCHITECTURE.COM
 LIC. AR92748

THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER'S SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OR PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 639, FLORIDA STATUTES, TO THE BEST OF THE ARCHITECT'S KNOWLEDGE. THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION 2022 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

"NEW CONSTRUCTION"
 ELEVATION "A" & LEFT RISER ROOM
 38x58 QUAD
 9612 HOOD ROAD - LOT #1
 JACKSONVILLE FLORIDA

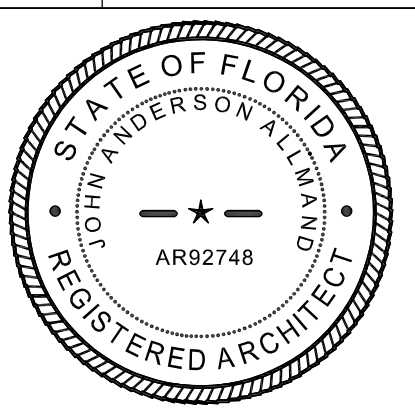


1 OVERALL SITE PLAN
 A0.1 SCALE: 1/32" = 1'-0"

THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMANN, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. AHJ APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

REVISIONS

#	DATE	DESCRIPTION
1	13.2022	REVIEW COMMENTS
2		
3		
4		
5		
6		
7		



DATE: 07.20.2021

PROJECT # 19-123.04

A0.1

PERMIT SET



JAA ARCHITECTURE-INC
 2716 ST. JOHNS AVE.
 JACKSONVILLE, FL 32205
 P: (904) 379-5108
 E: JOHN@JAAARCHITECTURE.COM
 LIC. AR92748

THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER'S SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OR PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633, FLORIDA STATUTES. TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2020 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633, FLORIDA STATUTES. TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2020 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

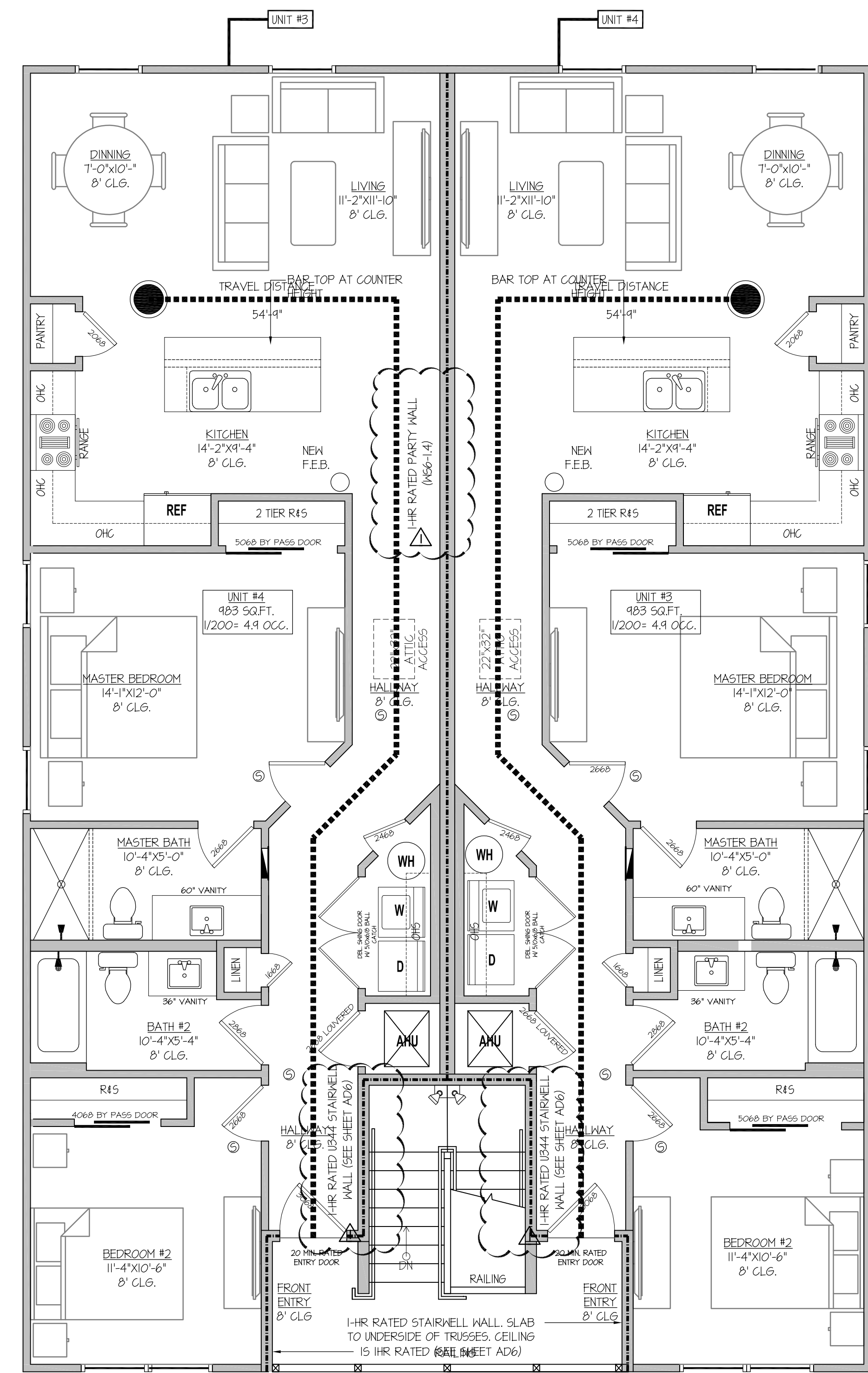
OCCUPANCY SCHEDULE					
UNIT #	RM. NAME	AREA (SQ. FT.)	CLASSIF.	LOAD FACTOR	OCC.
#1	UNIT- 1	483	R-2	1.200	4.9
#2	UNIT- 2	483	R-2	1.200	4.9
#3	UNIT- 3	483	R-2	1.200	4.9
#4	UNIT- 4	483	R-2	1.200	4.9
TOTAL NET AREA (USABLE SPACE):				TOTAL OCCUPANTS: 20	
TOTAL GROSS AREA (TOTAL TENANT SPACE):		4,446			

BUILDING AREAS LEVEL 1	
1ST FLOOR HEATED AREA	2,080 SF
FRONT ENTRY & STAIR	143 SF
BUILDING AREAS LEVEL 2	
2ND FLOOR HEATED AREA	2,080 SF
FRONT ENTRY & STAIR	143 SF
TOTAL UNDER ROOF (CONDITIONED & UNCOND.) = 4,448 SF	
TOTAL CONDITIONED SPACE (1ST & 2ND) = 4,160 SF	

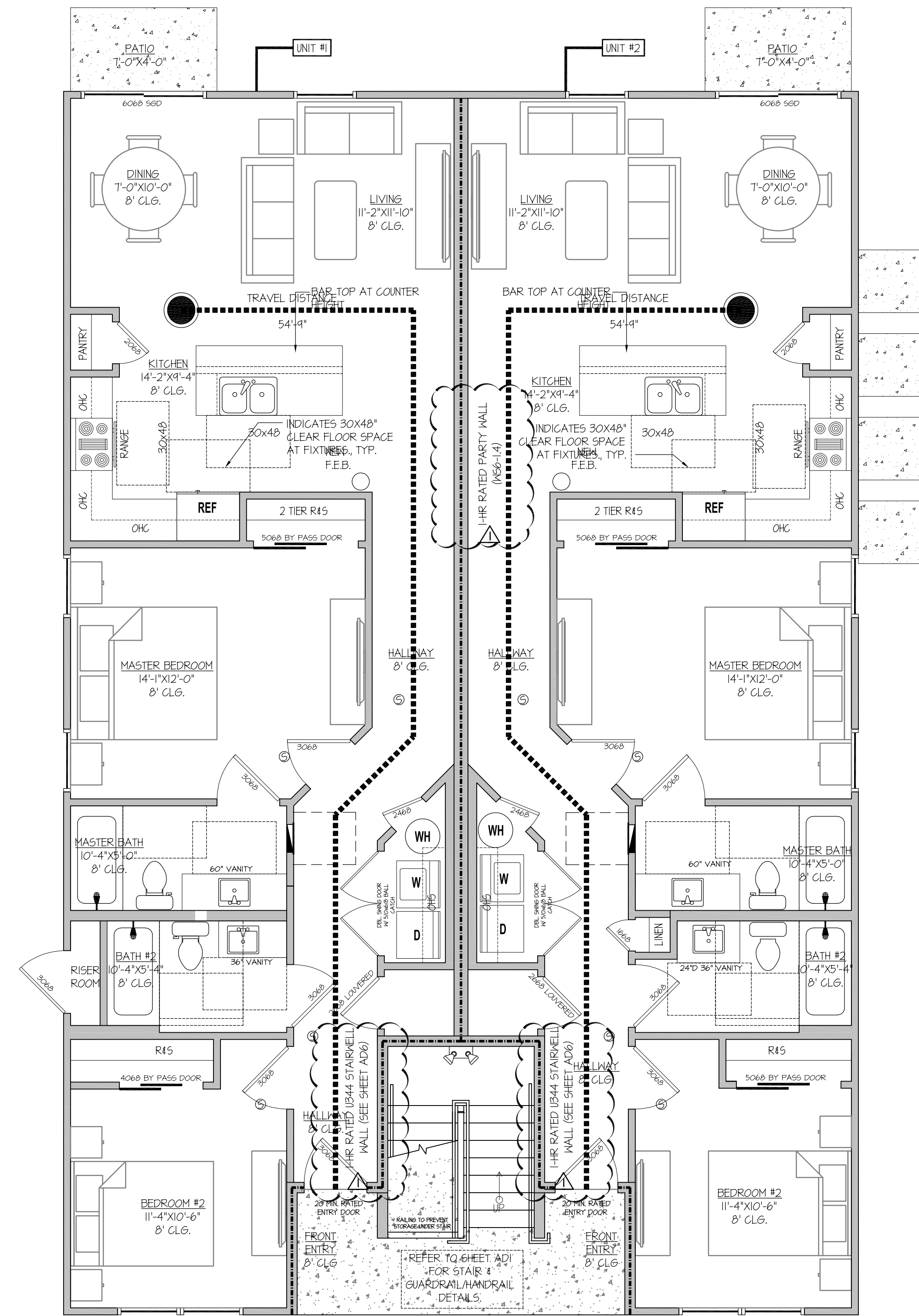
PARTITION LEGEND	
NEW INTERIOR WALL	
1HR EXTERIOR WALL (U344)	
1HR PARTY WALL (W56-L4)	

- PROVIDE GUARDRAIL & SIGNAGE TO READ "NO STORAGE UNDER STAIRS"
- PROVIDE A.D.A. COMPLIANT THRESHOLD, TYP. @ FIRST FLOOR UNITS.
- ALL ENTRY DOORS SHALL BE NO MORE THAN 5LBS OF FORCE TO OPEN.

LIFE SAFETY LEGEND	
	DENOTES SEPARATE FIRE AREA
	TRAVEL LINE
	ILLUMINATED EXIT SIGN
	FIRE EXTINGUISHER
	EMERGENCY LIGHTING
	SMOKE/CARBON MONOXIDE DETECTOR WALL MOUNTED
	SMOKE/CARBON MONOXIDE DETECTOR CEILING MOUNTED
	STARTING POINT
	EGRESS WIDTH



2 SECOND FLOOR- LIFE SAFETY PLAN
 A1 1/4" = 1'-0"

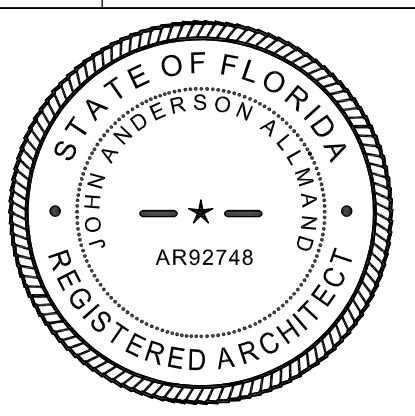


1 FIRST FLOOR- LIFE SAFETY PLAN
 A1 1/4" = 1'-0"

"NEW CONSTRUCTION"
 ELEVATION "A" & LEFT RISER ROOM
 38x58 QUAD
 9612 HOOD ROAD - LOT #1
 JACKSONVILLE FLORIDA

THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMANN, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. AHJ APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

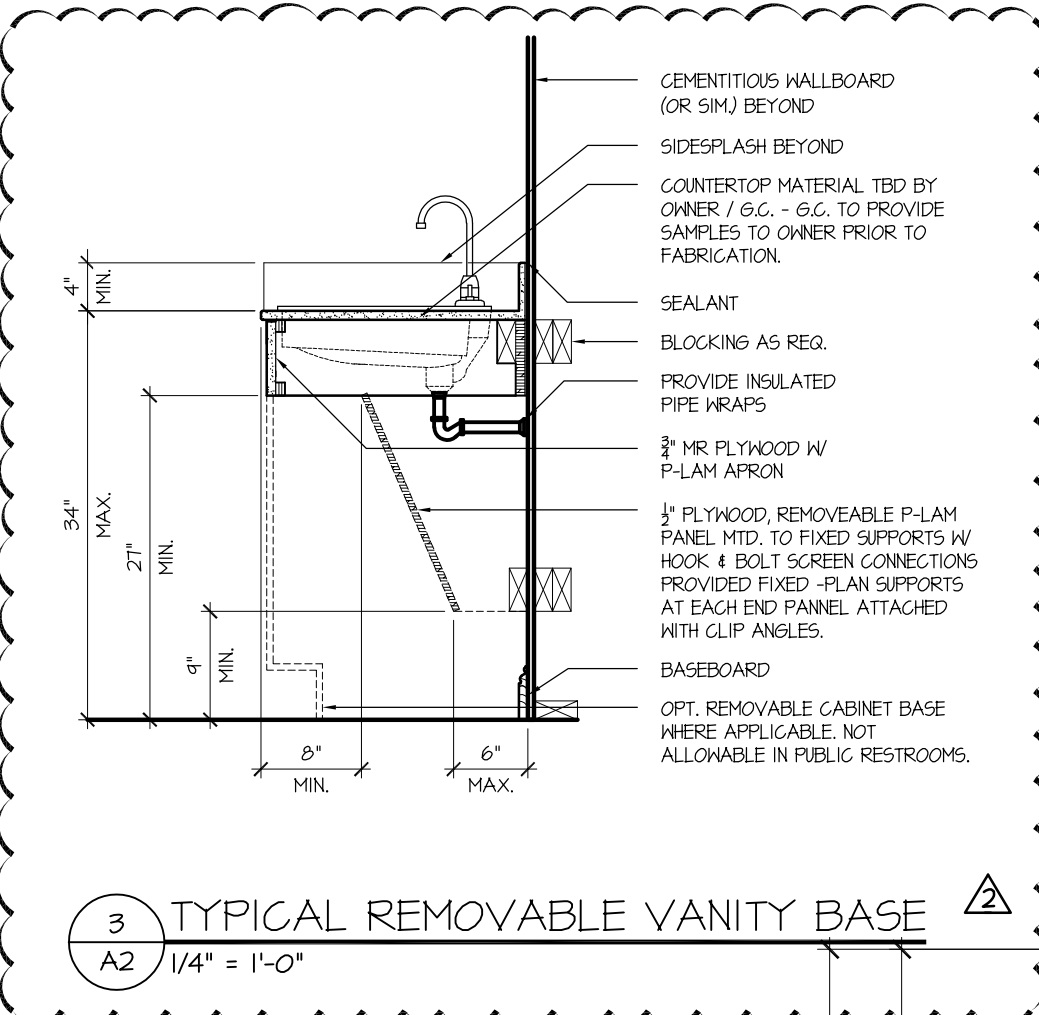
REVISIONS		
#	DATE	DESCRIPTION
1	13.2022	REVIEW COMMENTS
2		
3		
4		
5		
6		
7		



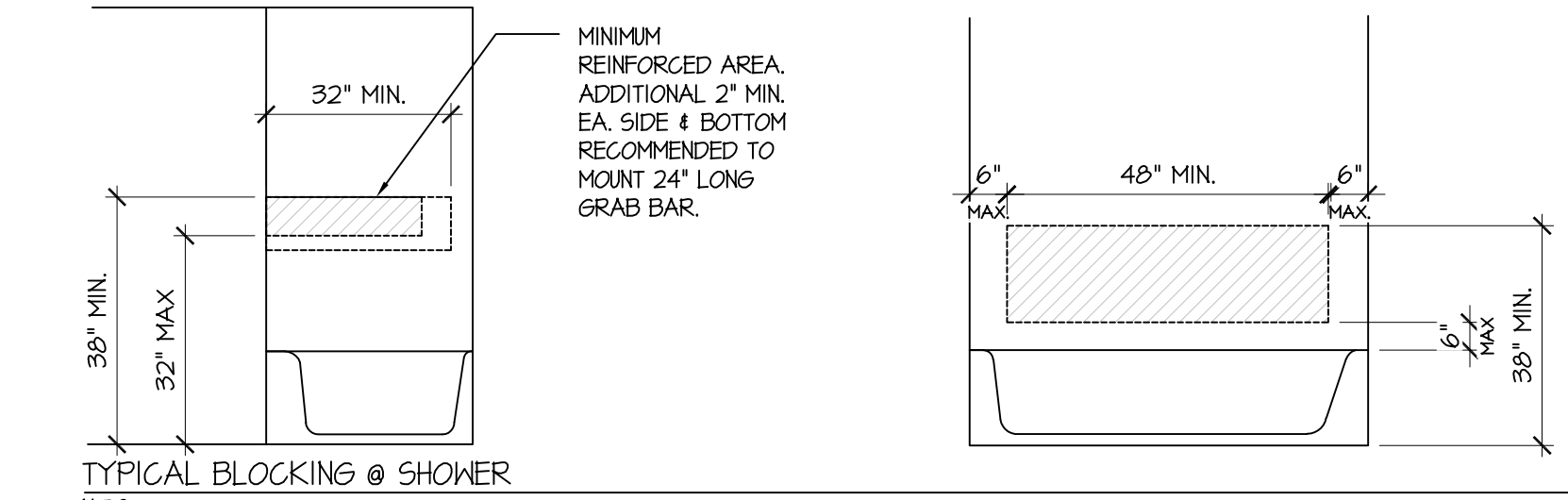
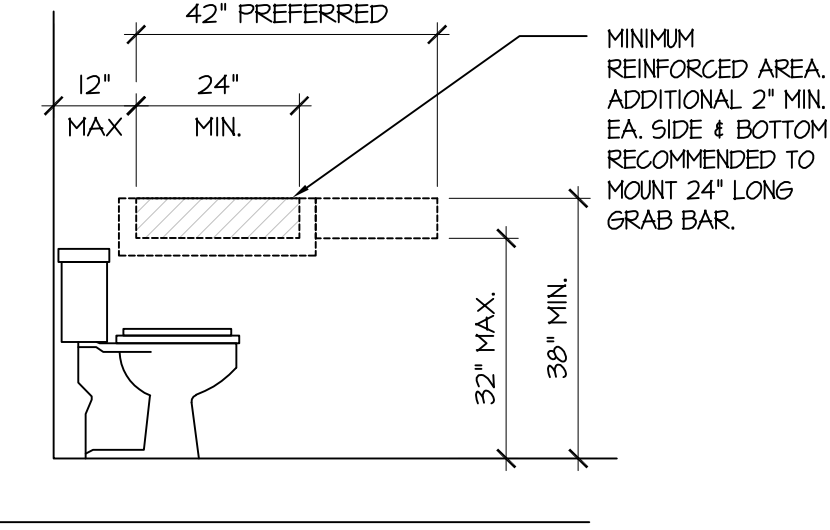
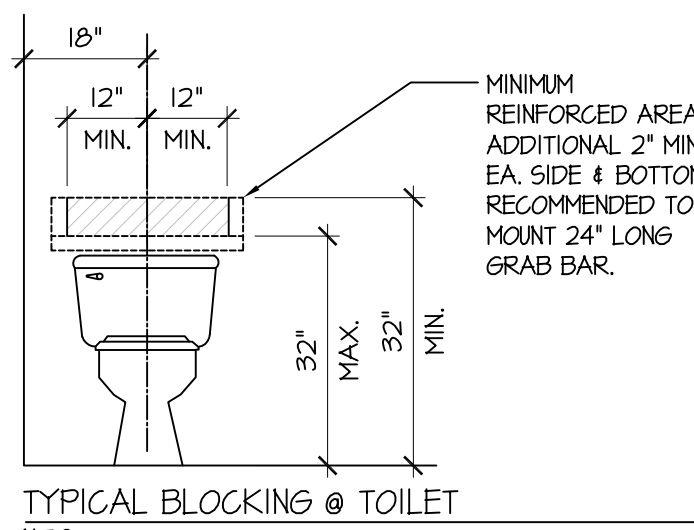
DATE: 07.20.2021
 PROJECT # 19-123.04

A1

PERMIT SET



SPEC "A" FAIR HOUSING BATHROOM UNITS. CLEAR FLOOR SPACES ARE INDICATED ON THE PLANS REFERENCED W/ DASHED LINES.



PARTITION LEGEND

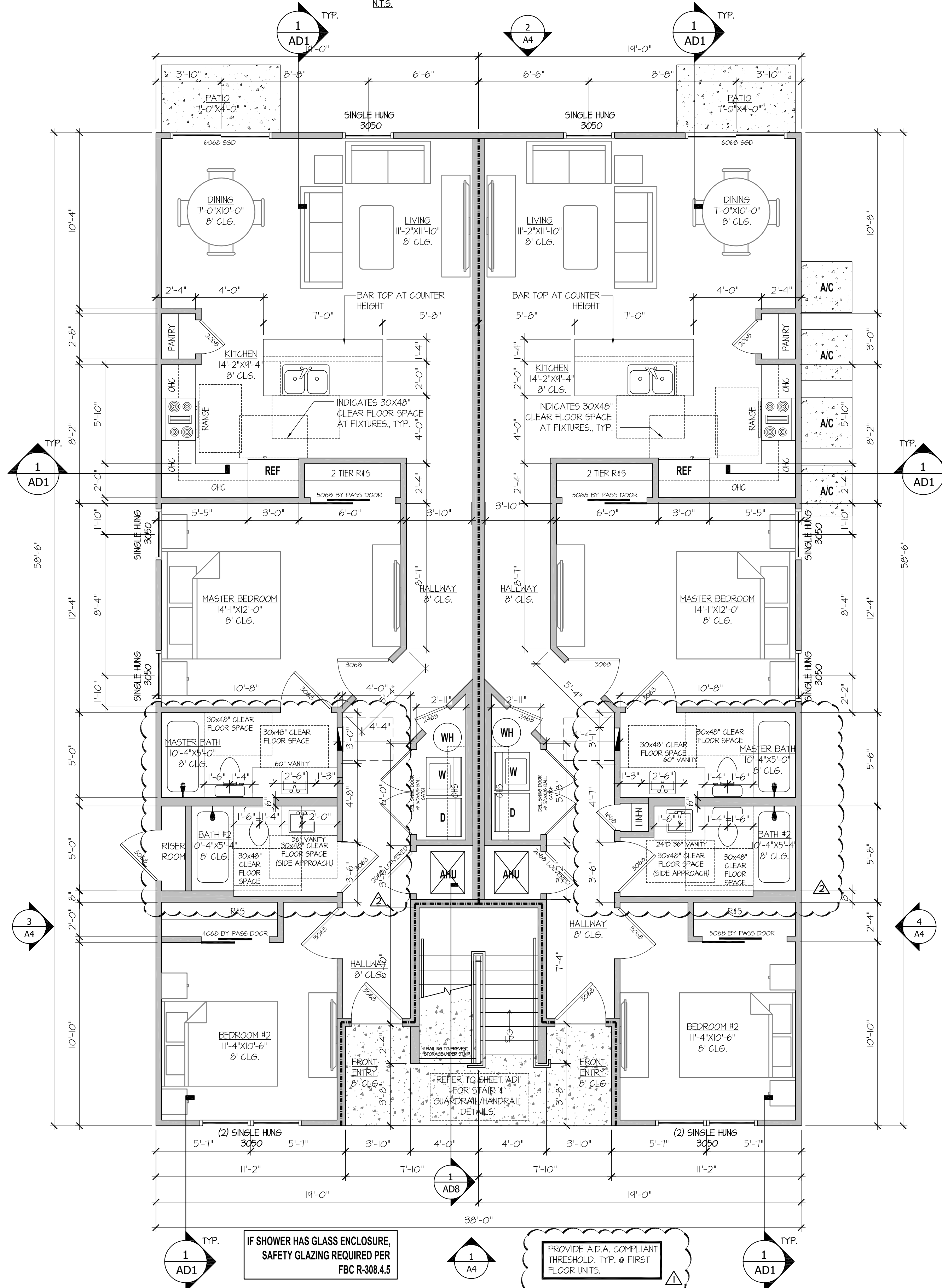
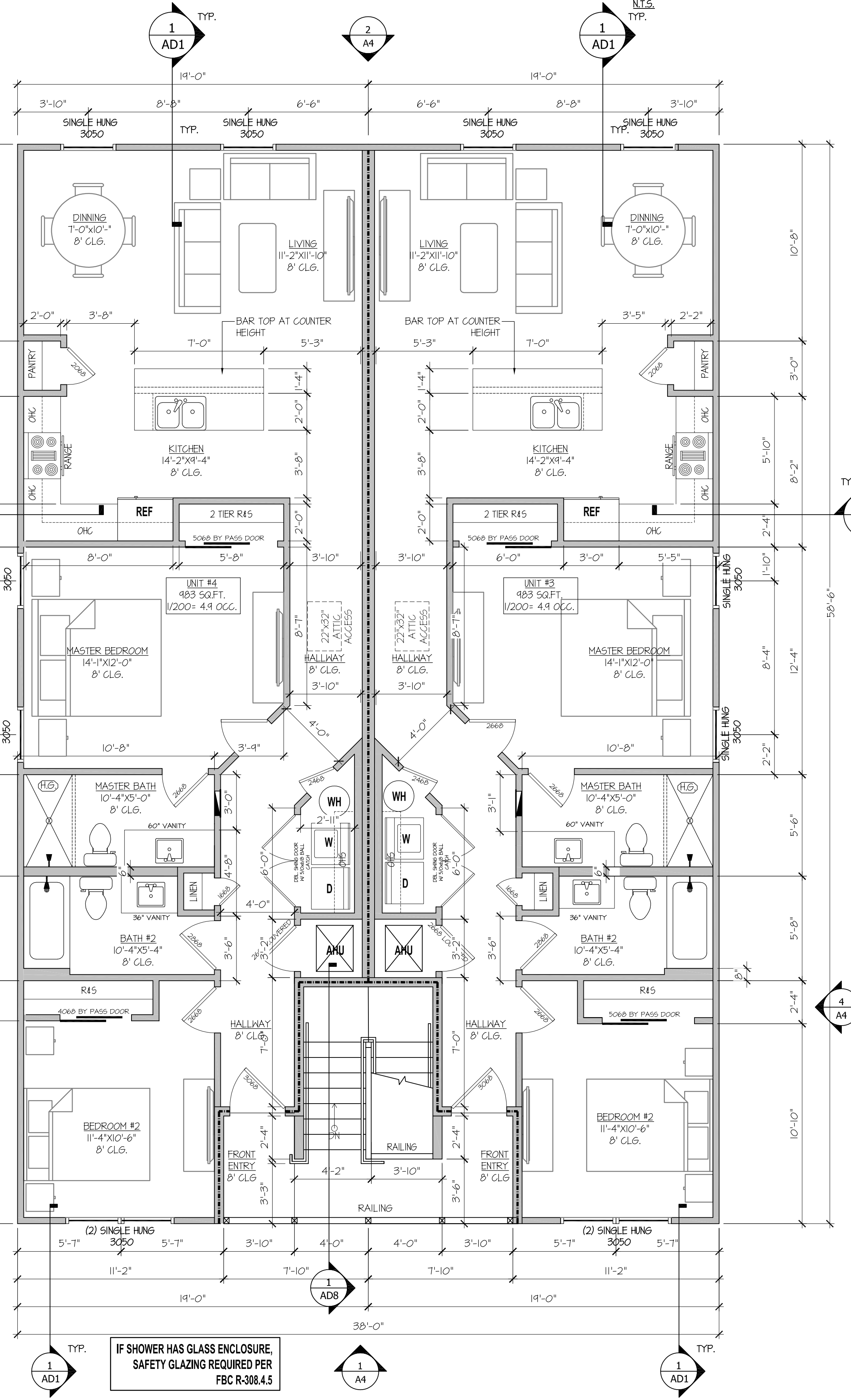
NEW INTERIOR WALL	[Symbol]
IHR EXTERIOR WALL (U344)	[Symbol]
IHR PARTY WALL (WS6-1.4)	[Symbol]

- GENERAL NOTES**
1. VERIFY INTERIOR BEARING WALLS PER TRUSS ENGINEERING.
 2. PROVIDE ELECTRICAL CONDUITS TO ISLANDS AS REQUIRED.
 3. ALL FLOOR FINISHES TO BE DETERMINED BY BUILDER.
 4. VERIFY MIN. 24" SILL HEIGHT AT ALL SECOND STORY WINDOWS.
 5. BRAND AND STYLE OF WINDOWS & DOORS T.B.D. BY BUILDER.
 6. PROVIDE ALL REQUIRED 2X BLOCKING IN WALLS FOR CABINETS AND TVS, ETC. CLOSET SYSTEM OPTIONAL FOR ALL PANTRY, LINEN, ETC.
 7. DENOTES 5.7 SOFT. EGRESS REQ.
 8. DENOTES HAZARDOUS GLASS LOCATION. TEMPERED GLASS REQUIRED.

- STAIR NOTES**
1. MAX RISER HEIGHT TO BE 7" MAX, TOTAL TREAD DEPTH SHALL BE 11" MIN.
 2. TREADS SHALL BE 2X12S GLED AND NAILED (RIPPED DOWN AS REQ'D).
 3. RISERS SHALL BE 1X6S GLED AND NAILED (RIPPED DOWN AS REQ'D).
 4. LANDINGS SHALL BE CONSTRUCTED OF 2X12S @ 16" O.C.
 5. STRINGERS SHALL BE 2X12S EQUALLY SPACED.
 6. REFER TO SHEET ADB FOR ADDITIONAL INFORMATION.

NOTE:
AT BOTH FIRST FLOOR UNITS, ALL SWITCHES, OUTLETS, & THERMOSTATS SHALL BE MOUNTED 15" MIN. A.F.F. TO 48" A.F.F. TO CENTER OF PLATE, PROVIDE MIN. 36" FROM INSIDE CORNERS TO CENTER OF OUTLET/SWITCH.

- SITE PLAN NOTES**
1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO STAKE-OUT PERIMETER OF STRUCTURE & FIELD VERIFY ALL SETBACKS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
 2. VERIFY EXIST. FLOOD ZONES & COORDINATE ALL REQUIRED DOCUMENTS/REQUIREMENTS W/ SCOPE OF WORK IF APPLICABLE.
 3. VERIFY ALL CODES & RESTRICTIONS WITH STATE & LOCAL MUNICIPALITIES PRIOR TO CONSTRUCTION.
 4. G.C. TO VERIFY ANY EXISTING STRUCTURES, SEPTIC, GAS, ETC. DEMOLISH & RELOCATE AS REQUIRED PER LOCAL CODES.
 5. **ALL SERVICES TO BE PROVIDED BY - J.E.A.** (WATER, SEWER, & ELECTRICAL) (BUILDER TO VERIFY)
 6. ** THE APPLICANT/OWNER/CONTRACTOR SHALL IMMEDIATELY CONTACT DUVAL COUNTY LOT GRADING STAFF SHOULD MODIFICATIONS TO THE DRAINAGE PLAN BE REQUIRED DURING SITE DEVELOPMENT, BASED ON ACTUAL FIELD CONDITIONS.**



THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER'S SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OF PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 639, FLORIDA STATUTES. TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2022 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

**"NEW CONSTRUCTION"
ELEVATION "A" & LEFT RISER ROOM
38x58 QUAD
9612 HOOD ROAD - LOT #1
JACKSONVILLE FLORIDA**

THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 05.18.2022, USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. AHJ APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

REVISIONS

#	DATE	DESCRIPTION
1	13.2022	REVIEW COMMENTS
2	2.2.2022	REVIEW COMMENTS
3		
4		
5		
6		
7		



DATE: 07.20.2021
PROJECT #: 19-123.04

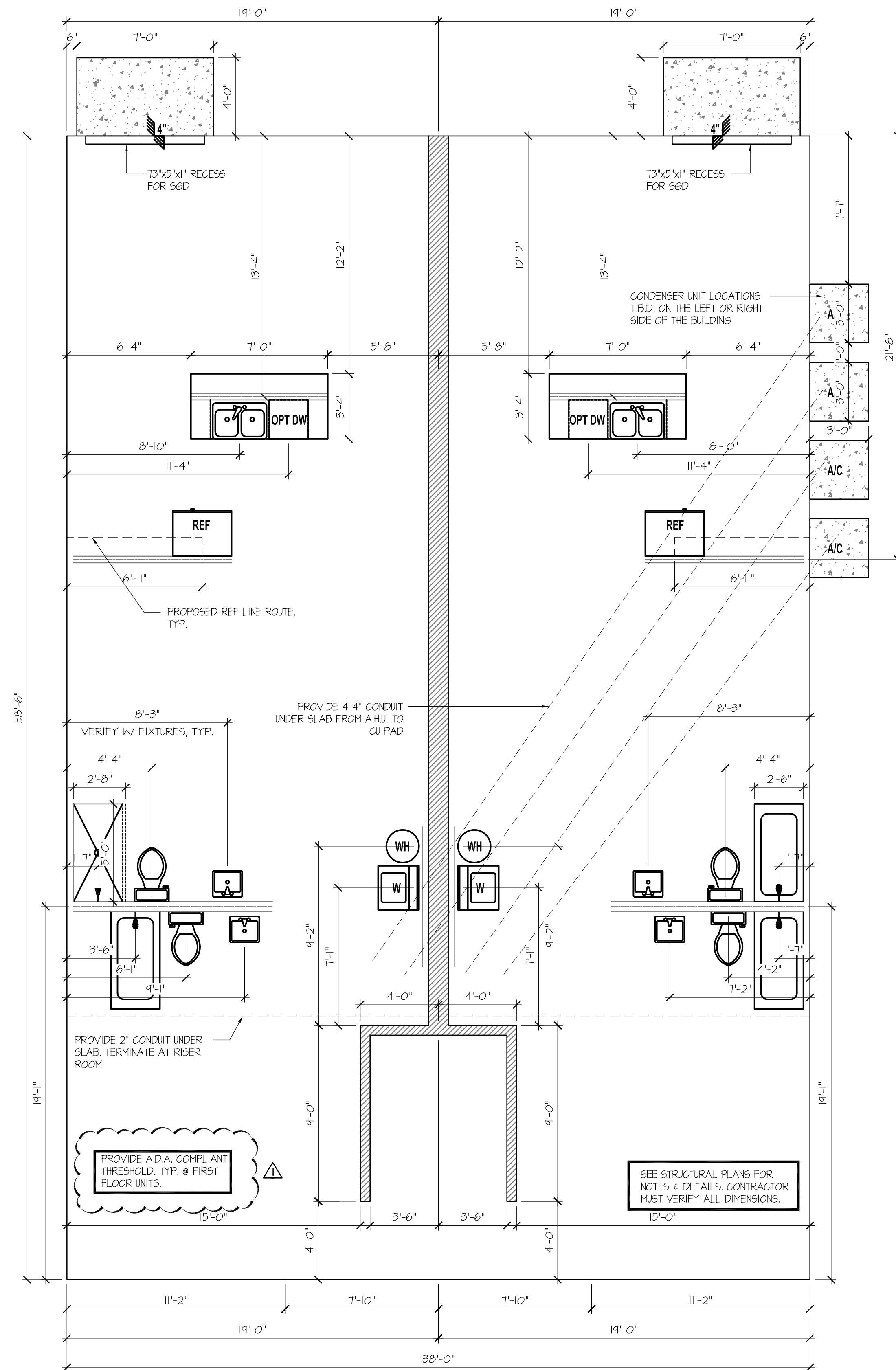
VENT CALCULATIONS PER UNIT

VENTED SOFFIT
 VENTILATED ATTIC AREA: 1,000 SQ. FT.
 $1,000 / 300 = 3.33$ SQ. FT.
 3.33 SQ. FT. X 144 = 480 SQ. IN. TOTAL NET FREE VENT AREA
 $480 \times 50\% = 240$ SQ. IN. NET FREE
 SOFFIT REQUIREMENT = 6.55' SQ. IN. NET FREE PER LF
 $240 / 6.55 = 37$ LF VENTED SOFFIT REQUIRED

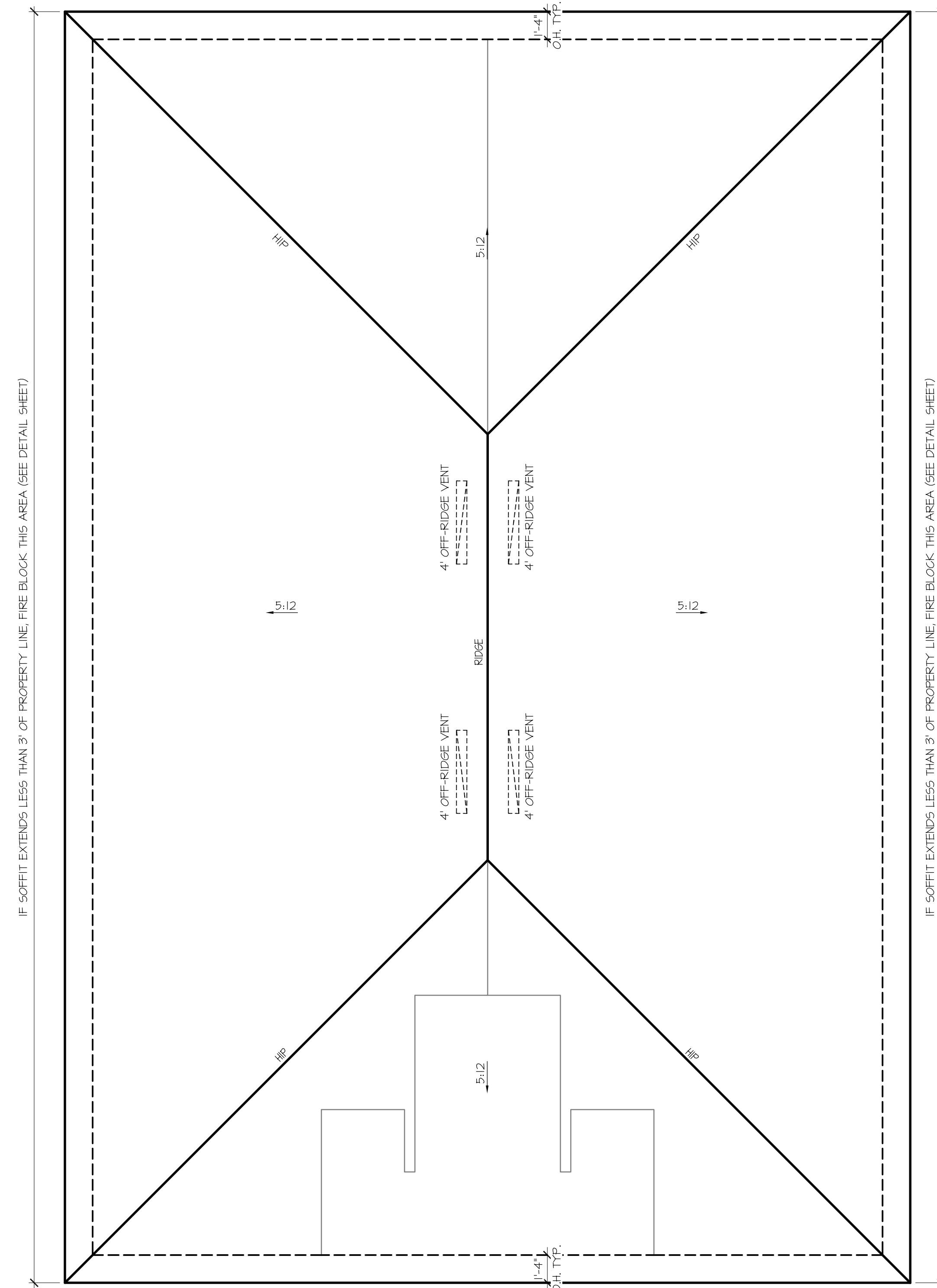
OFF-RIDGE VENTS
 VENTILATED ATTIC AREA: 1,000 SQ. FT.
 $1,000 / 300 = 3.33$ SQ. FT.
 3.33 SQ. FT. X 144 = 480 SQ. IN. TOTAL NET FREE VENT AREA
 $480 \times 50\% = 240$ SQ. IN. NET FREE
 (1) 8' OFF-RIDGE VENT REQUIRED
 (8' = 288 SQ. IN. EACH)

GENERAL ROOF NOTES

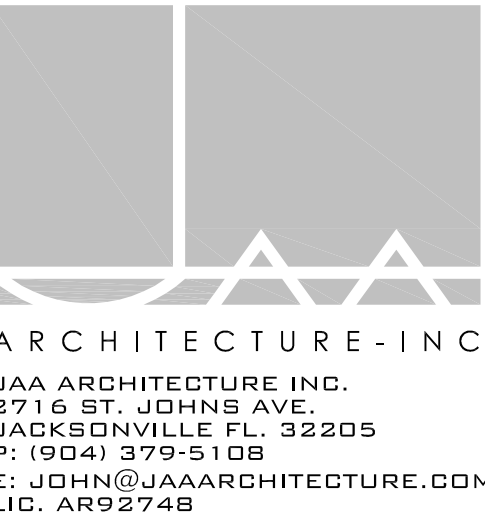
1. THE ROOFING PLAN IS GENERAL IN NATURE AND INDICATES APPROXIMATE CONDITIONS AT THE PROJECT SITE AT THE TIME THE ROOFING IS READY TO BE INSTALLED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR OWNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
2. GENERAL CONTRACTOR TO COORDINATE WITH TRUSS MANUFACTURER AND MECHANICAL CONTRACTOR THE PROVISION OF ALL A/C DUCT WORK OPENINGS THROUGH TRUSSES. SUBMIT SHOP DRAWINGS FOR APPROVAL.
3. GENERAL CONTRACTOR AND TRUSS MANUFACTURER TO COORDINATE ALIGNMENT OF TRUSSES. IF ANY DISCREPANCIES CONTACT THE OWNER AND/OR ARCHITECT PRIOR TO FABRICATION OF TRUSSES.
4. FOR COMPLETE ROOFING PLAN DETAILS REFER TO STRUCTURAL DRAWINGS BY OTHERS.
5. ATTIC INSULATION TO BE AS INDICATED ON INDEX SHEET AD1 AND PER THE PLAN NOTATIONS.
6. OWNER OPTION. PROVIDE ALUMINUM GUTTERS & DOWNSPOUTS IF SELECTED BY OWNER. GC TO INSTALL/COORDINATE.
7. ROOFING MATERIAL, COLOR TO BE SELECTED BY OWNER. SELECTED MANUFACTURER.
8. METAL FLASHING TO BE 26 GA. G-90 GALVANIZED UNLESS NOTED OTHERWISE.
9. UNDERLAYMENT TO SELF ADHERING UNDERLAYMENT MEMBRANE (POLYGLASS T1 PLUS OR EQUAL) OR OTHER CODE COMPLIANT UNDERLAYMENT AS SELECTED BY OWNER. PROVIDE PRESSURE-TREATED WOOD BATTENS AS/IF RECOMMENDED BY MANUFACTURER. AND FOR ALL ROOFS W/ SLOPES GREATER THAN 1:12 WHEN BATTENS ARE USED, PROVIDE BATTENS 4'-0" LONG MAX. W/ 1/2" SPACE BETWEEN ENDS OF BATTENS FOR WATER DRAINAGE.
10. PROVIDE PRESSURE-TREATED WOOD BATTENS AS/IF RECOMMENDED BY MANUFACTURER. AND FOR ALL ROOFS W/ SLOPES GREATER THAN 1:12 WHEN BATTENS ARE USED, PROVIDE BATTENS 4'-0" LONG MAX. W/ 1/2" SPACE BETWEEN ENDS OF BATTENS FOR WATER DRAINAGE.
11. ALL ROOFING TO BE ARCHITECTURAL SHINGLES UNLESS NOTED OTHERWISE.



2 FOUNDATION PLUMBING PLAN
 A3 1/4" = 1'-0"



1 ROOF PLAN "A" (HIP-ROOF)
 A3 1/4" = 1'-0"



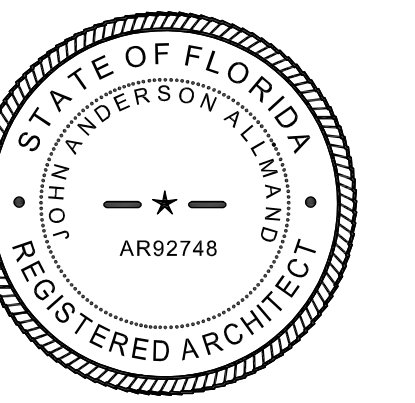
THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNERS SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OR PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 553, FLORIDA STATUTES. TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2020 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

**"NEW CONSTRUCTION"
 ELEVATION "A" & LEFT RISER ROOM
 38x58 QUAD
 9612 HOOD ROAD - LOT #1
 JACKSONVILLE FLORIDA**

THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. AHJ APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

REVISIONS		
#	DATE	DESCRIPTION
1	13.2022	REVIEW COMMENTS
2		
3		
4		
5		
6		
7		



DATE: 07.20.2021
 PROJECT # 19-123.04

A3
 PERMIT SET



JAA ARCHITECTURE-INC
 2716 ST. JOHNS AVE.
 JACKSONVILLE, FL 32205
 P: (904) 379-5108
 E: JOHN@JAAARCHITECTURE.COM
 LIC. AR92748

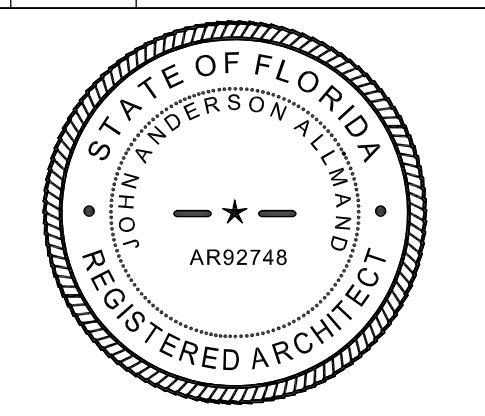
THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER'S SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OR PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 639, FLORIDA STATUTES, TO THE BEST OF THE ARCHITECT'S KNOWLEDGE. THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2022 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

**"NEW CONSTRUCTION"
 ELEVATION "A" & LEFT RISER ROOM
 38x58 QUAD
 9612 HOOD ROAD - LOT #1
 JACKSONVILLE FLORIDA**

THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. AHJ APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

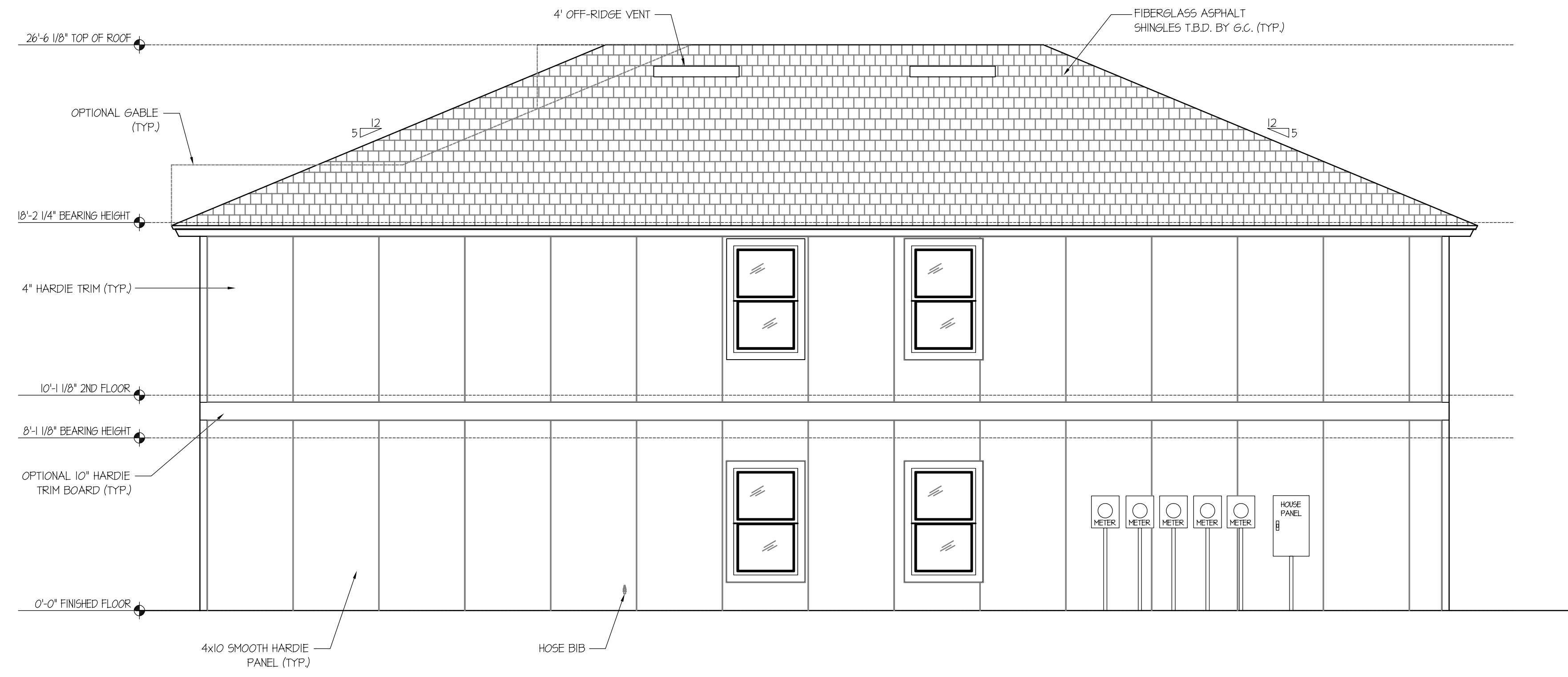
REVISIONS		
#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		



DATE: 07.20.2021
 PROJECT # 19-123.04

A4

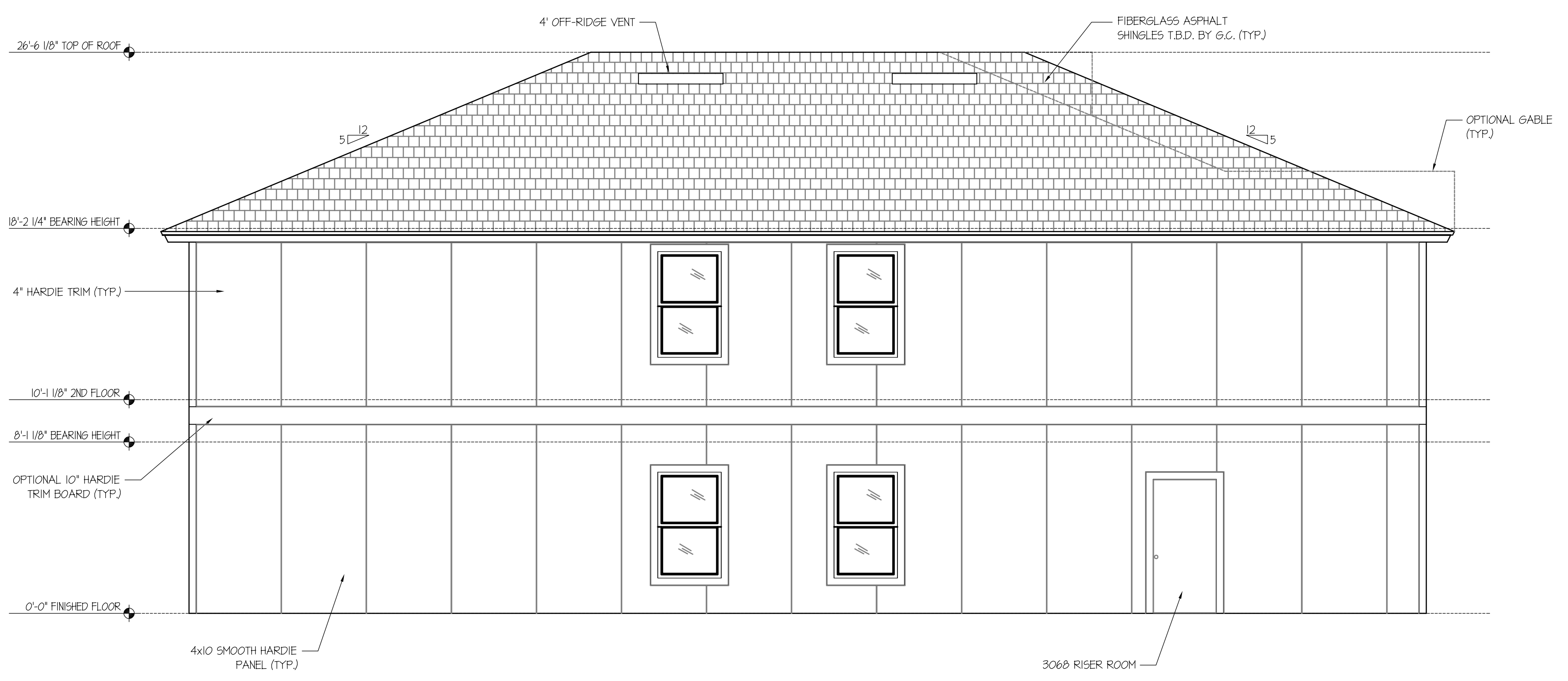
PERMIT SET



4 RIGHT SIDE ELEVATION
 A4 1/4" = 1'-0"



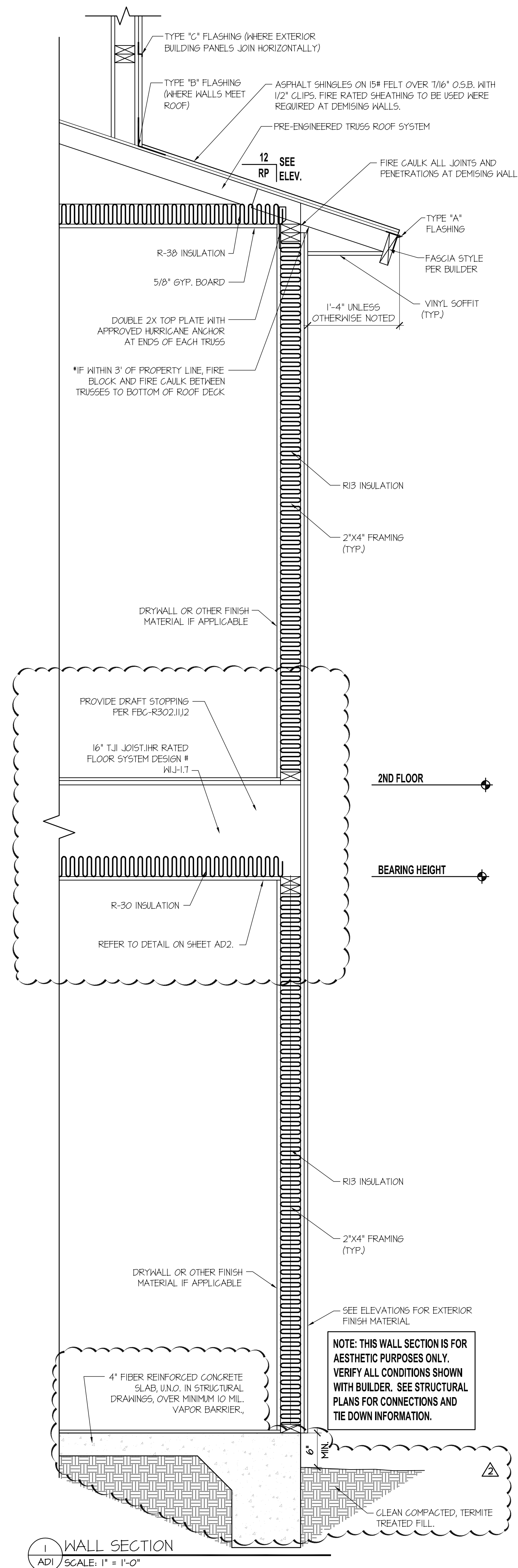
2 REAR ELEVATION
 A4 1/4" = 1'-0"



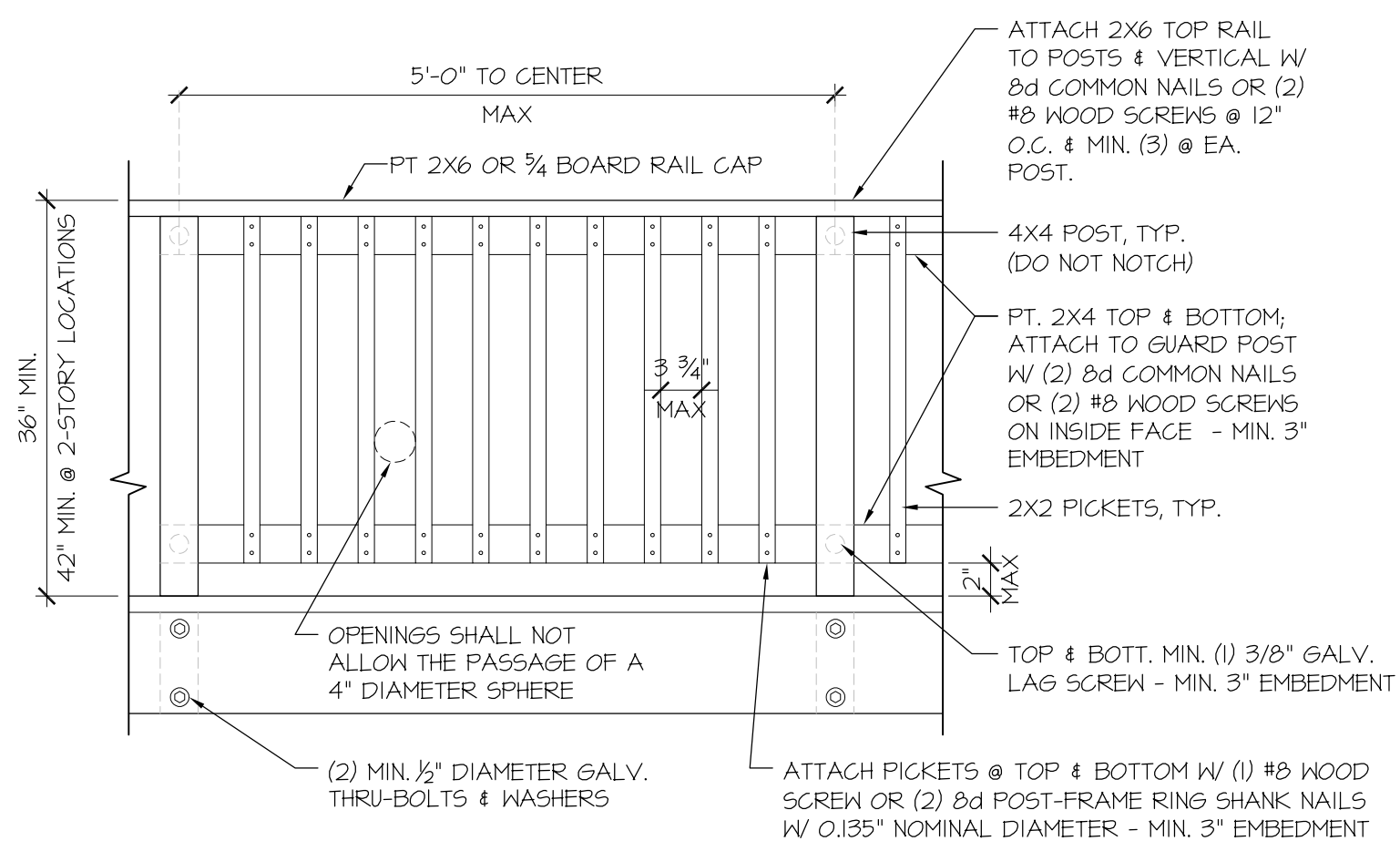
3 LEFT SIDE ELEVATION
 A4 1/4" = 1'-0"



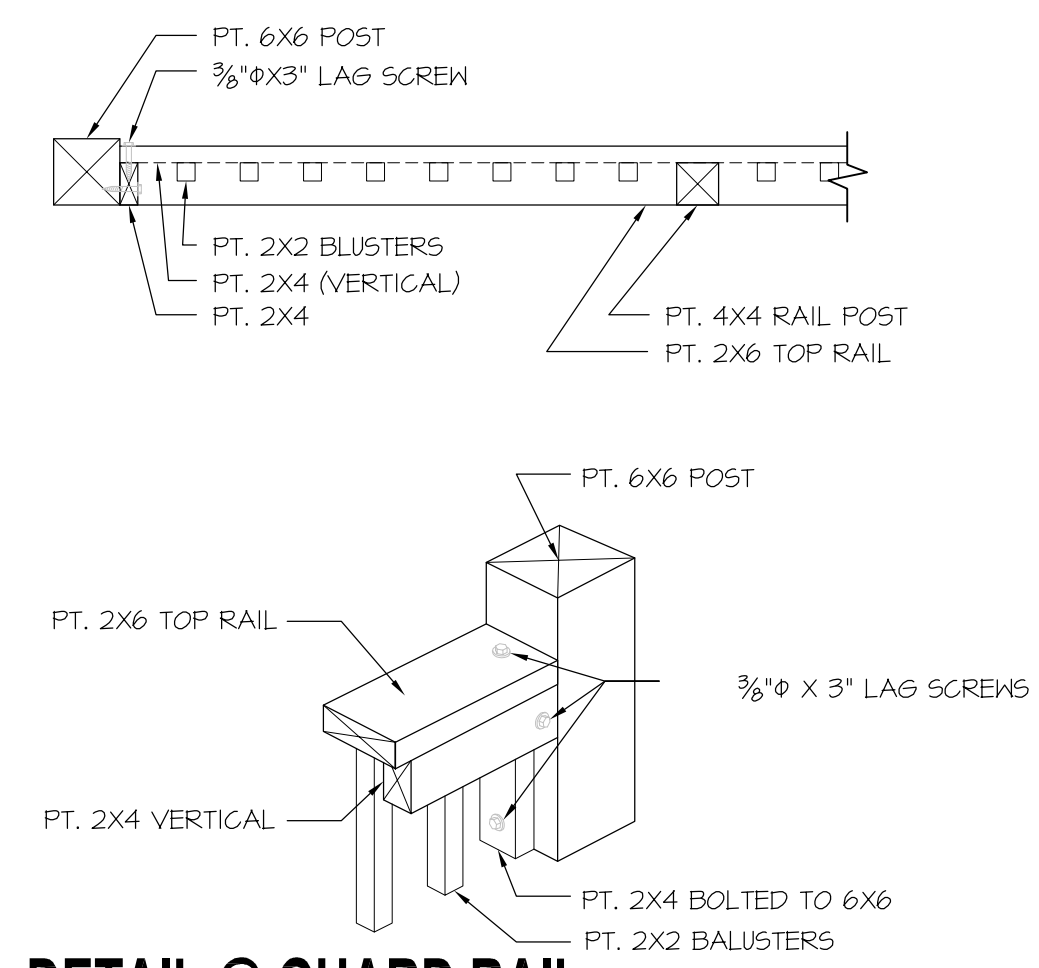
1 FRONT ELEVATION "A" - HIP ROOF
 A4 1/4" = 1'-0"



1 WALL SECTION
AD1 SCALE: 1" = 1'-0"



GUARD RAIL DETAIL
NOT TO SCALE



DETAIL @ GUARD RAIL
NOT TO SCALE

- GENERAL NOTES:**
1. PARKING BUMPER (IF REQUIRED) MUST BE INSTALLED BEFORE C.O.
 2. 5/8" TYPE 'X' GYP. BOARD REQUIRED ON CEILING OF GARAGE WHERE HABITABLE SPACE IS ABOVE PER FBC R302.6.
 3. HVAC PENETRATING RATED ASSEMBLIES TO COMPLY WITH FBC R302.5.
 4. UNDER STAIR PROTECTION TO COMPLY WITH FBC R302.1 (IF ACCESSIBLE).

GUARDRAIL NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R312.1 FOR GUARDRAIL REQUIREMENTS AND OPENINGS.

*HEIGHT SHALL BE 36" MIN. WHEN PORCH, BALCONY OR RAISED FLOOR EXCEEDS 30" ABOVE FLOOR OR GRADE AND SHALL BE 34" ON OPEN SIDES OF STAIRS THAT EXCEED 30" OR MORE ABOVE FLOOR OR GRADE.

*OPENINGS SHALL HAVE INTERMEDIATE RAILS OR CLOSURES WHICH DO NOT ALLOW PASSAGE OF SPHERE 4" OR GREATER IN DIAMETER. REQUIRED GUARD RAILS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW SPHERE GREATER THAN 4-3/8" IN DIAMETER TO PASS THROUGH.

HANDRAIL NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.5 FOR HANDRAIL HEIGHT CONTINUITY AND SIZE.

*HEIGHT: MUST BE BETWEEN 34-38" MEASURED VERTICALLY FROM SLOPED PLANE.

*CONTINUITY: HANDRAIL MUST BE CONTINUOUS THROUGH FULL LENGTH OF FLIGHT FROM POINT DIRECTLY ABOVE HIGHEST RISER TO POINT DIRECTLY ABOVE LOWEST RISER. HANDRAIL ENDS SHOULD TERMINATE IN NEVEL POSTS OR SAFETY TERMINAL OR RETURN TO WALL. HANDRAILS SHALL BE ALLOWED TO BE INTERRUPTED BY NEVEL POSTS.

*SIZE: SHALL HAVE OUTSIDE DIAMETER BETWEEN 1-1/4"-2" IF CIRCULAR. SHALL HAVE BETWEEN 4-6" PERIMETER IF NOT CIRCULAR.

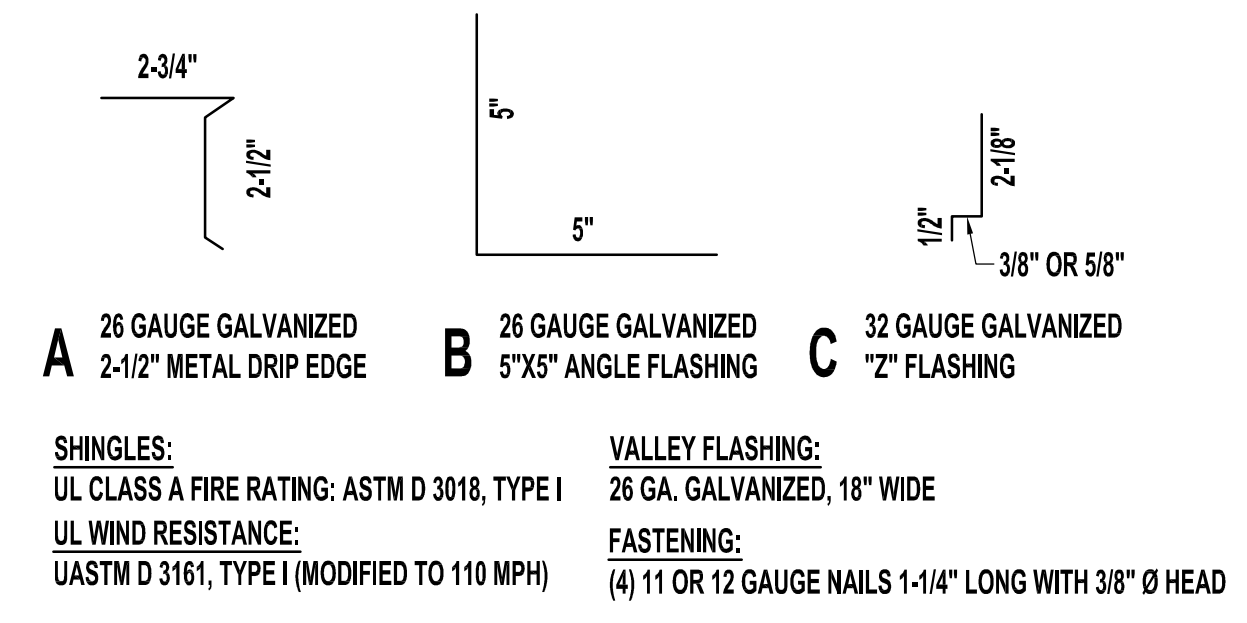
STAIR NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.5 FOR TREAD DEPTH, RISER HEIGHTS AND STAIR WIDTHS.

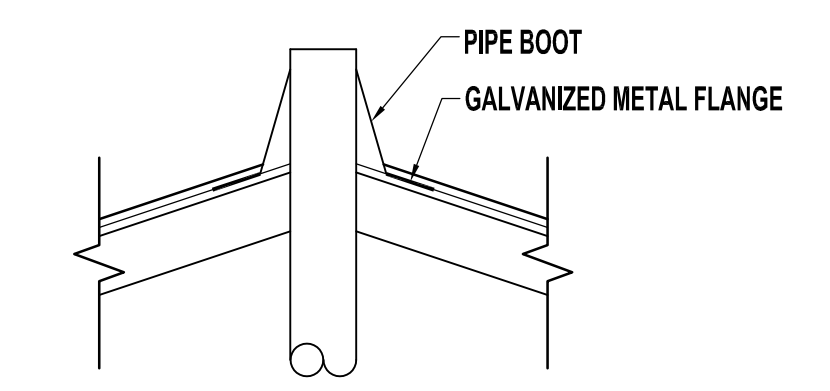
*RISERS: 7-3/4" MAXIMUM WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN HIGHEST AND LOWEST RISER.

TREADS: 10" MINIMUM DEPTH WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN LONGEST AND SHORTEST TREAD. THE SUM OF 2 TREADS AND 1 RISER TO BE NOT LESS THAN 24" AND NOT MORE THAN 25"

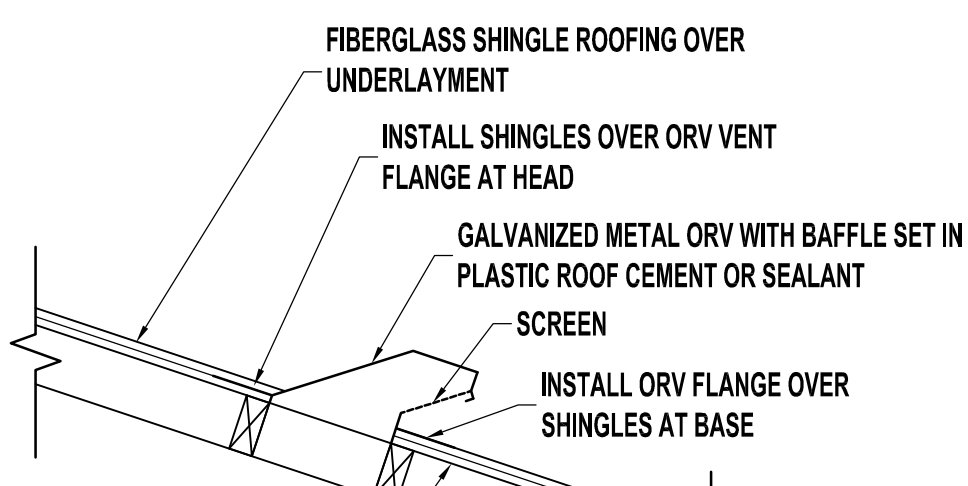
*WIDTH: 36" MINIMUM CLEAR WIDTH ABOVE HANDRAIL AND 31-1/2" BELOW HANDRAIL.



FLASHING DETAILS AND SHINGLE INFORMATION
SCALE: 3" = 1'-0"



PLUMBING STACK FLASHING DETAIL
NOT TO SCALE



OFF RIDGE VENT DETAIL
NOT TO SCALE

JAA ARCHITECTURE - INC
2716 ST. JOHNS AVE.
JACKSONVILLE, FL 32209
P: (904) 379-5108
E: JOHN@JAAARCHITECTURE.COM
LIC. AR92748

THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER'S SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OR PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 639, FLORIDA STATUTES, TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2022 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

"NEW CONSTRUCTION"
ELEVATION "A" & LEFT RISER ROOM
38x58 QUAD
9612 HOOD ROAD - LOT #1
JACKSONVILLE FLORIDA

THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. ANY APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

REVISIONS		
#	DATE	DESCRIPTION
1	1.3.2022	REVIEW COMMENTS
2	2.2.2022	REVIEW COMMENTS
3		
4		
5		
6		
7		



DATE: 07.20.2021
PROJECT #: 19-123.04

AD1
PERMIT SET



JAA ARCHITECTURE-INC
 2716 ST. JOHNS AVE.
 JACKSONVILLE FL 32205
 P: (904) 379-5108
 E: JOHN@JAAARCHITECTURE.COM
 LIC. AR92748

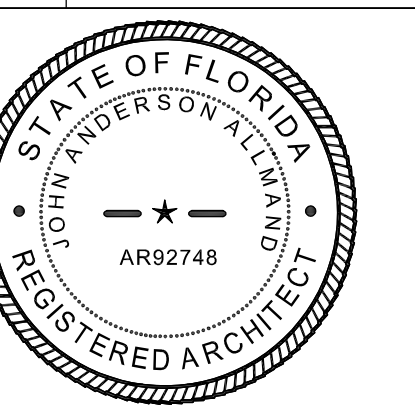
THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER'S SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OR PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 639, FLORIDA STATUTES, TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2020 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

"NEW CONSTRUCTION"
 ELEVATION "A" & LEFT RISER ROOM
 38x58 QUAD
 9612 HOOD ROAD - LOT #1
 JACKSONVILLE FLORIDA

THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. AHJ APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

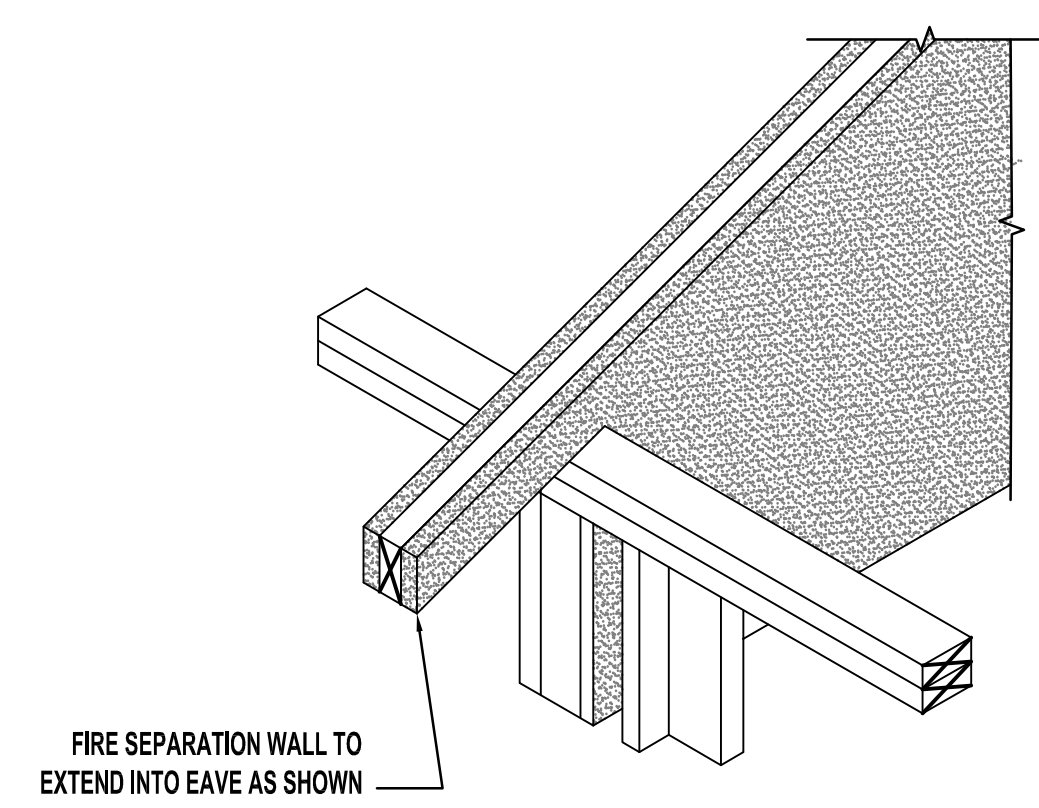
REVISIONS		
#	DATE	DESCRIPTION
1	13.2022	REVIEW COMMENTS
2	2.28.2022	REVIEW COMMENTS
3	5.10.2022	OWNER CHANGES
4		
5		
6		
7		



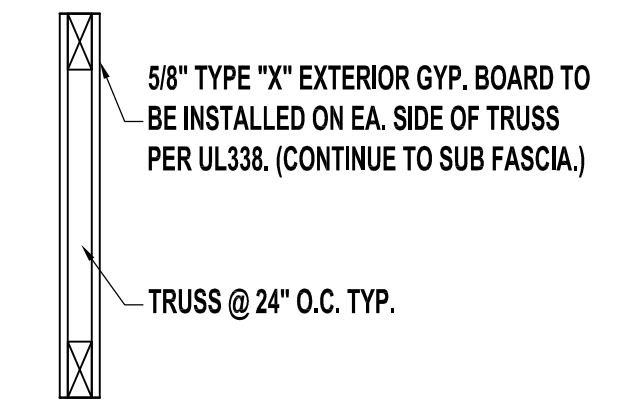
DATE: 07.20.2021
 PROJECT # 19-123.04

AD2

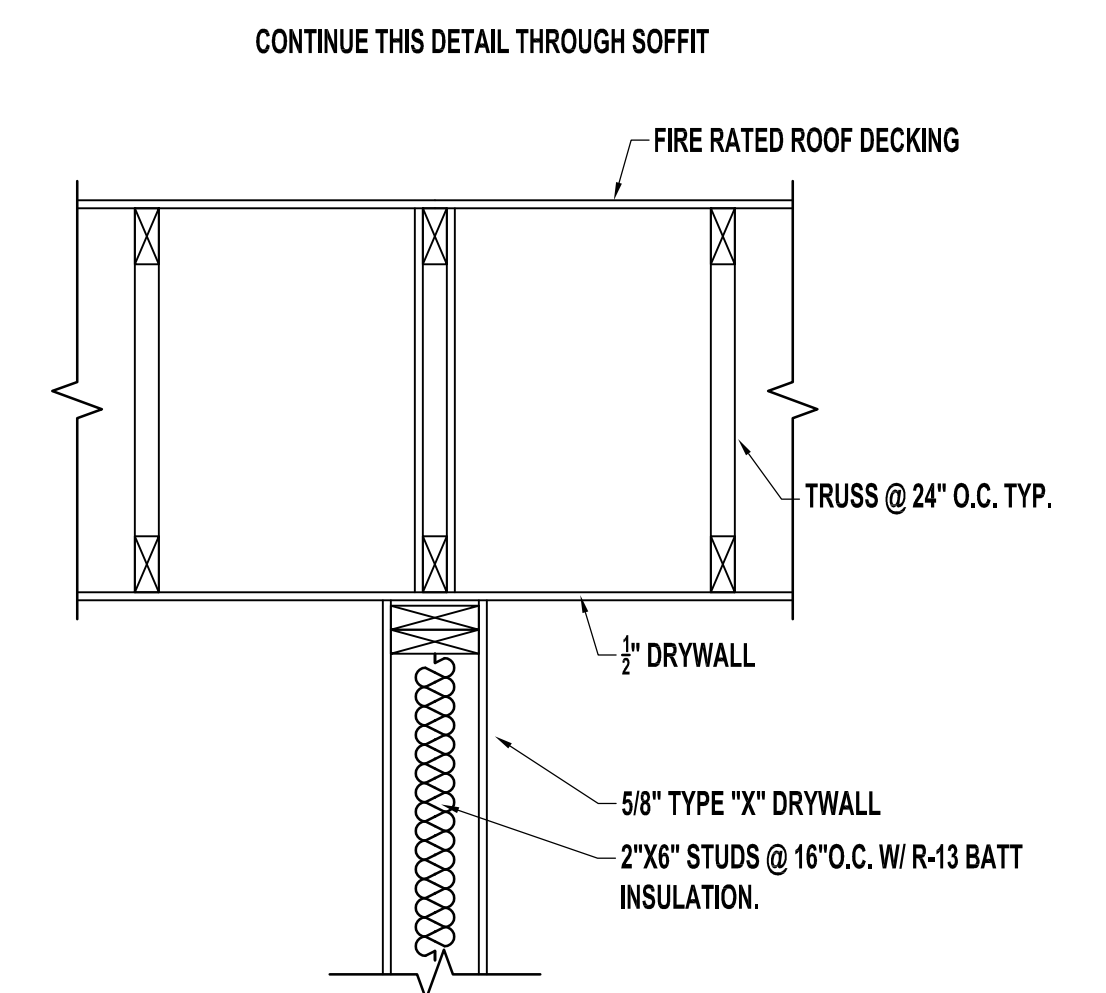
PERMIT SET



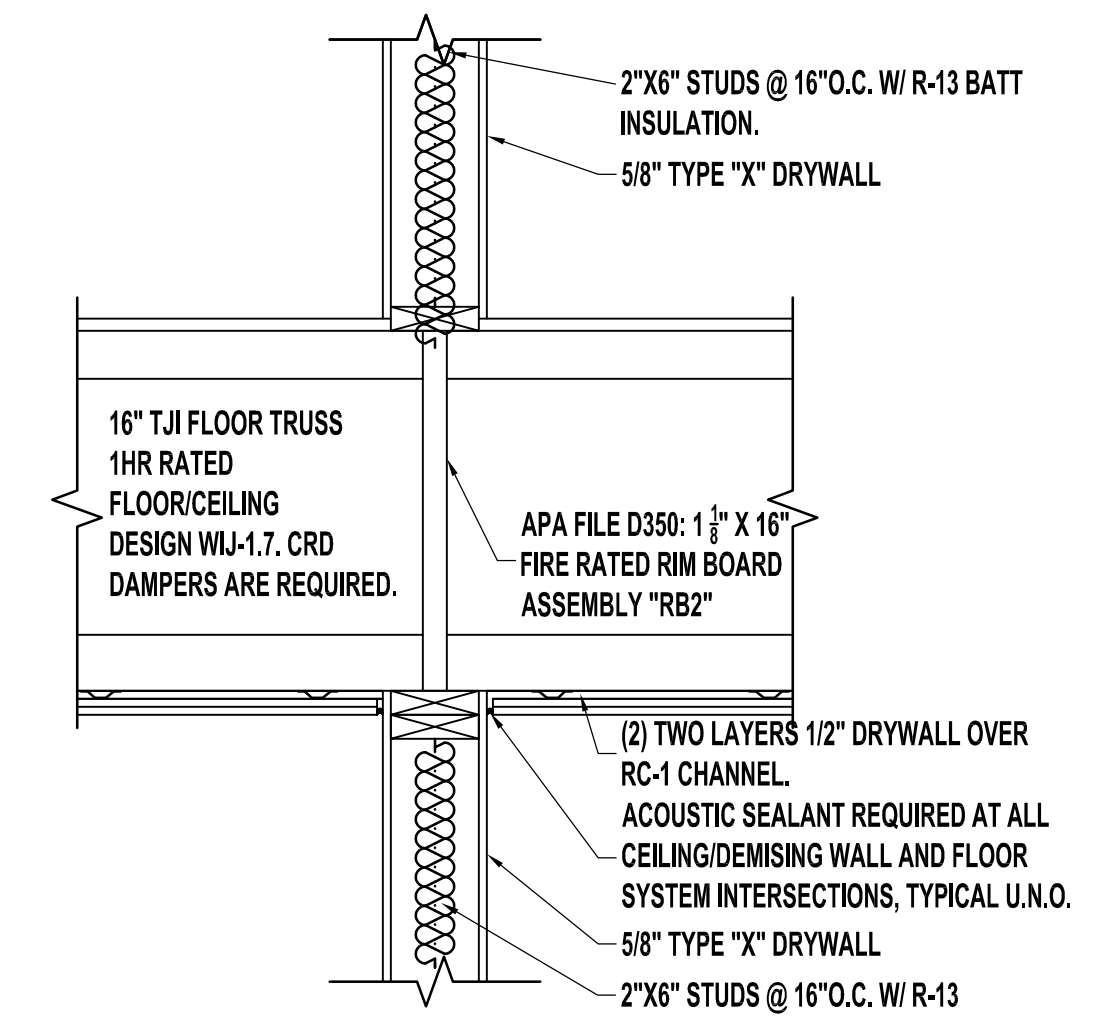
1HR FIRE RATED WALL AT SOFFIT-UL388
 SCALE: N.T.S.



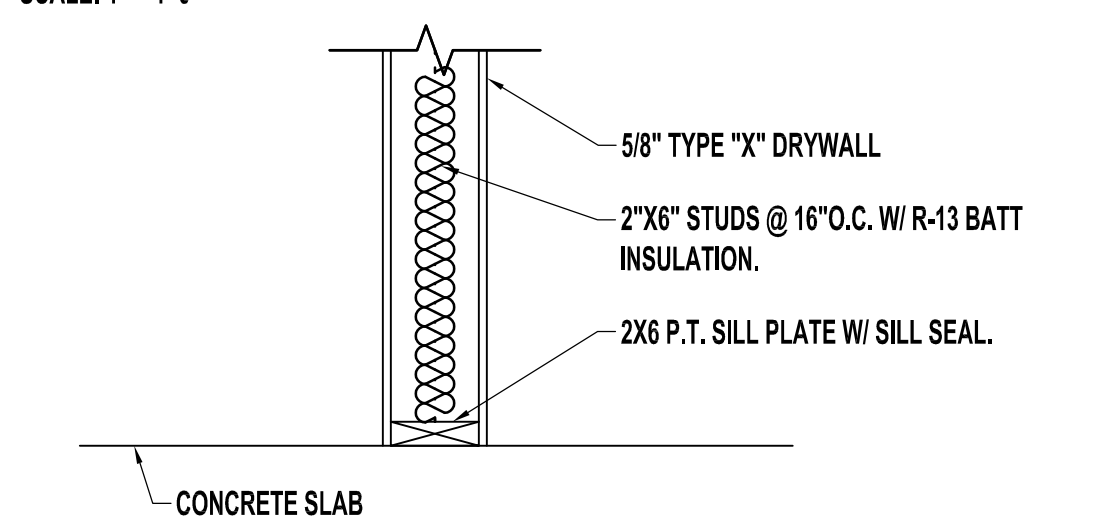
1HR TYPICAL ATTIC WALL @ TRUSS
 SCALE: 1" = 1'-0"



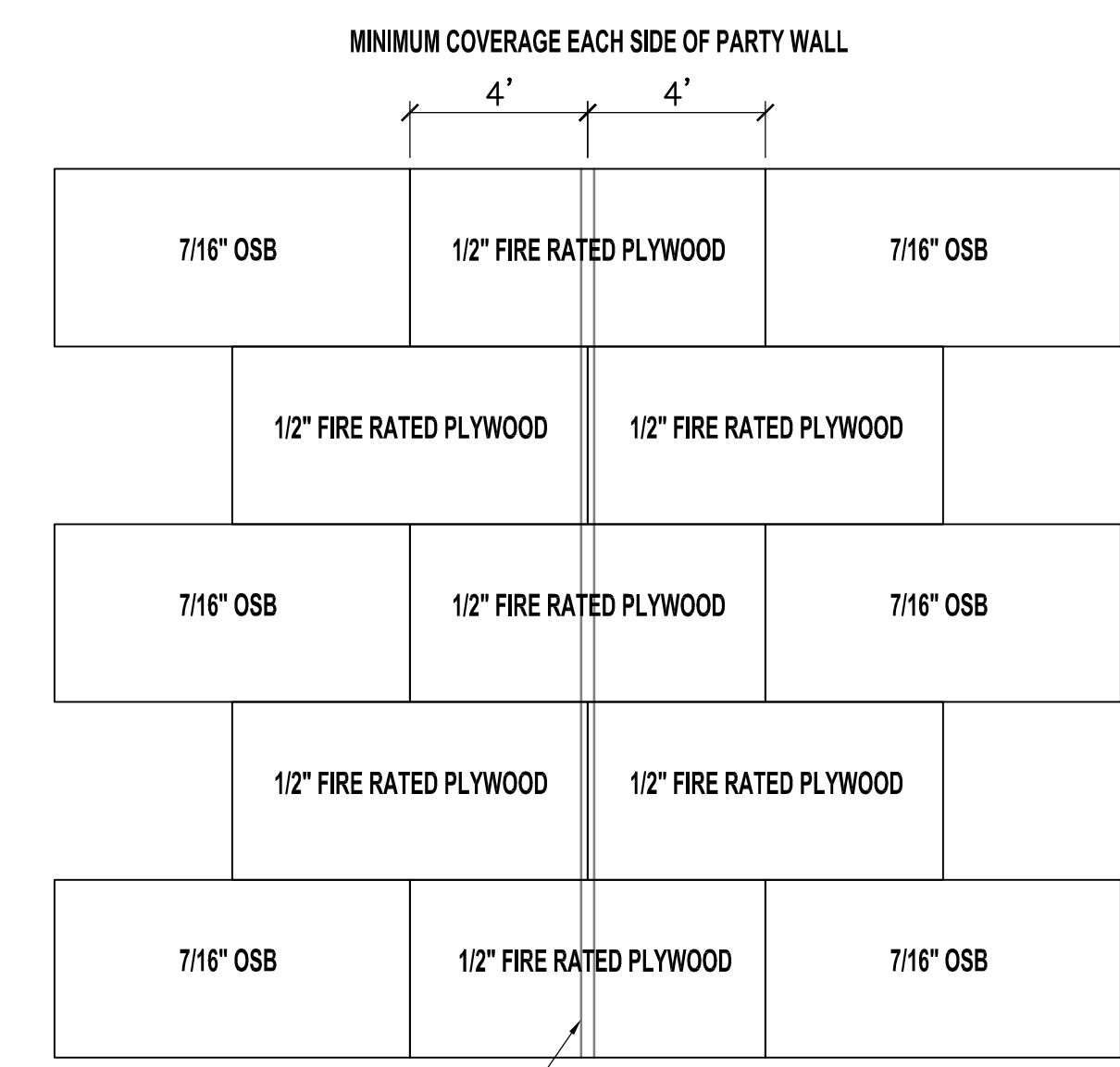
1HR TYPICAL ATTIC PARTY WALL HEAD - DESIGN # WS6-1.4
 SCALE: 1" = 1'-0"



1HR TYPICAL PARTY WALL 2ND FLOOR DESIGN # WS6-1.4
 SCALE: 1" = 1'-0"



1HR TYPICAL PARTY WALL TO SLAB DESIGN # WS6-1.4
 SCALE: 1" = 1'-0"



ROOF SHEATHING DETAIL AT 1HR PARTY WALL
 SCALE: 1/4" = 1'-0"

R703.4 FLASHING:

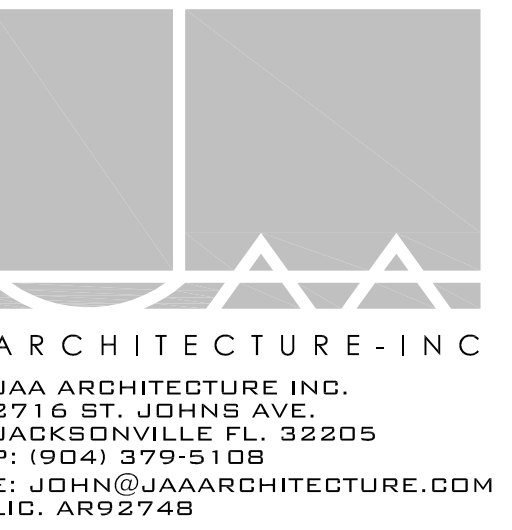
APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH, APPROVED ANTI-CORROSION RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

1. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
2. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
3. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
4. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD FRAMED CONSTRUCTION.
5. AT ALL WALL AND ROOD INTERSECTIONS.
6. AT BUILT IN GUTTERS.

NOTE:

1. WINDOW INSTALLATION AND FLASHING DETAILS ARE CONSISTENT WITH ASTM E 212 METHOD A-1 EXCEPT SELF-ADHERING FLASHINGS ARE USED
2. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE COMPATIBILITY OF ALL PRODUCTS INCLUDING HOUSEWRAP, SEALANTS & SELF-ADHERING FLASHING MATERIALS USED DURING CONSTRUCTION.
3. INSTALL ALL MATERIALS PER MANUFACTURERS WRITTEN SPECIFICATIONS

WARNING: SEALANTS/FLASHINGS MAY REACT ADVERSELY IF NOT COMPATIBLE.



THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNERS SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OR PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

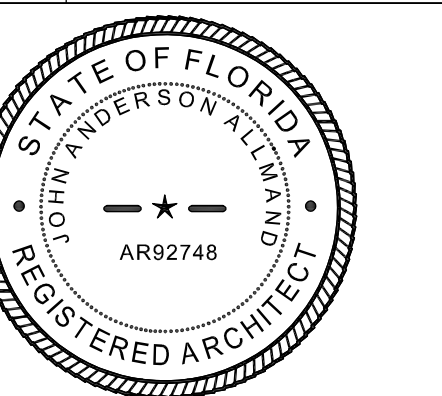
TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633, FLORIDA STATUTES, TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2022 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

"NEW CONSTRUCTION"
ELEVATION "A" & LEFT RISER ROOM
38x58 QUAD
9612 HOOD ROAD - LOT #1
JACKSONVILLE FLORIDA

THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. ALL APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE A.H.U.

REVISIONS

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

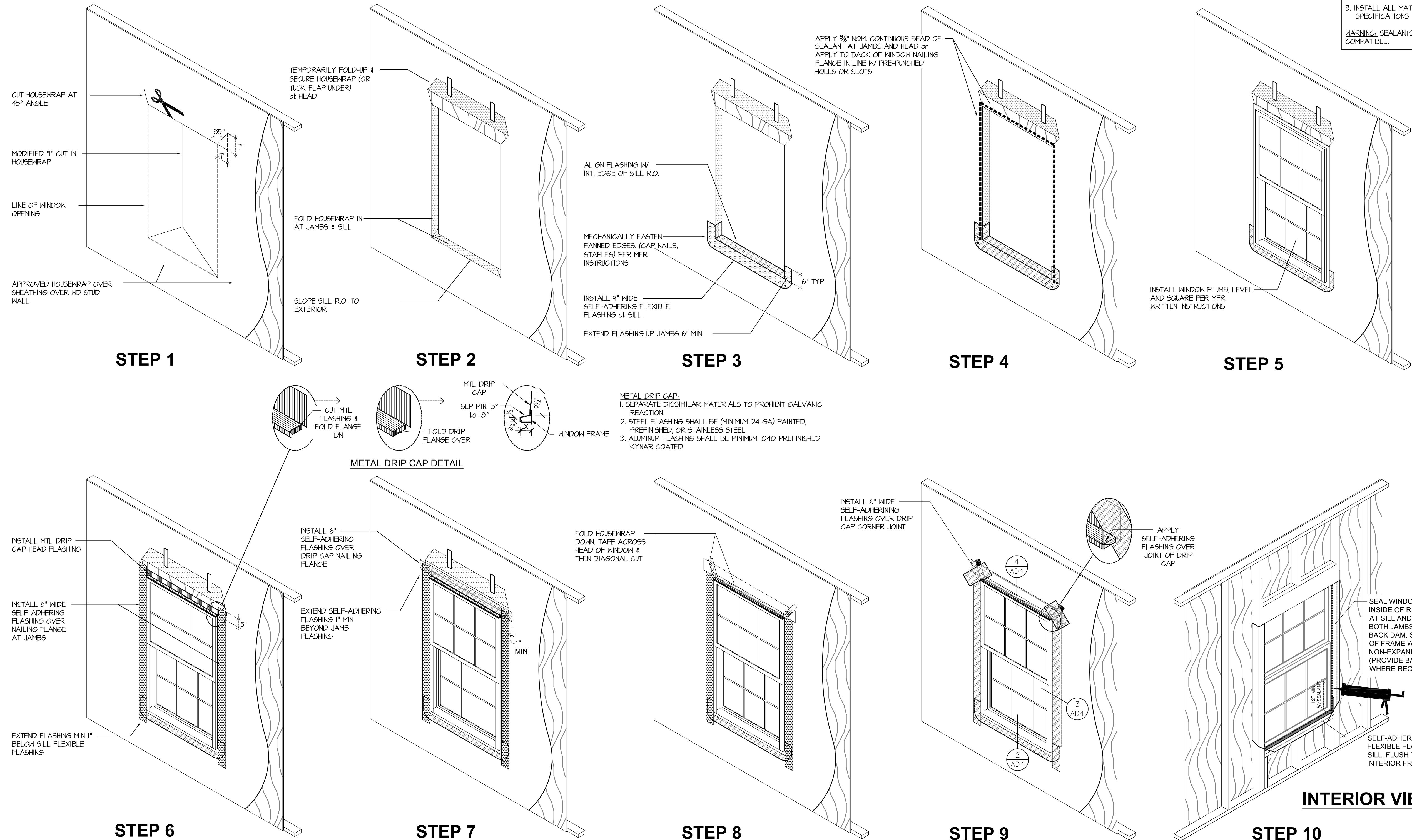


DATE: 07.20.2021

PROJECT # 19-123.04

AD3

PERMIT SET



WINDOW FLASHING INSTALLATION DETAILS

NTS



JAA ARCHITECTURE-INC
 2716 ST. JOHNS AVE.
 JACKSONVILLE, FL 32205
 P: (904) 379-5108
 E: JOHN@JAAARCHITECTURE.COM
 LIC. AR92748

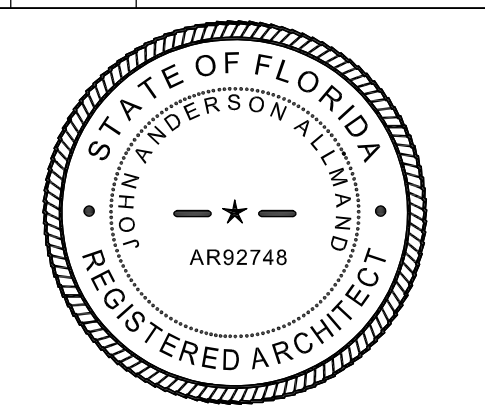
THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER'S SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS (OR PROJECTS) WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 639, FLORIDA STATUTES, TO THE BEST OF THE ARCHITECT'S KNOWLEDGE. THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION 2022 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

"NEW CONSTRUCTION"
 ELEVATION "A" & LEFT RISER ROOM
38x58 QUAD
 9612 HOOD ROAD - LOT #1
 JACKSONVILLE FLORIDA

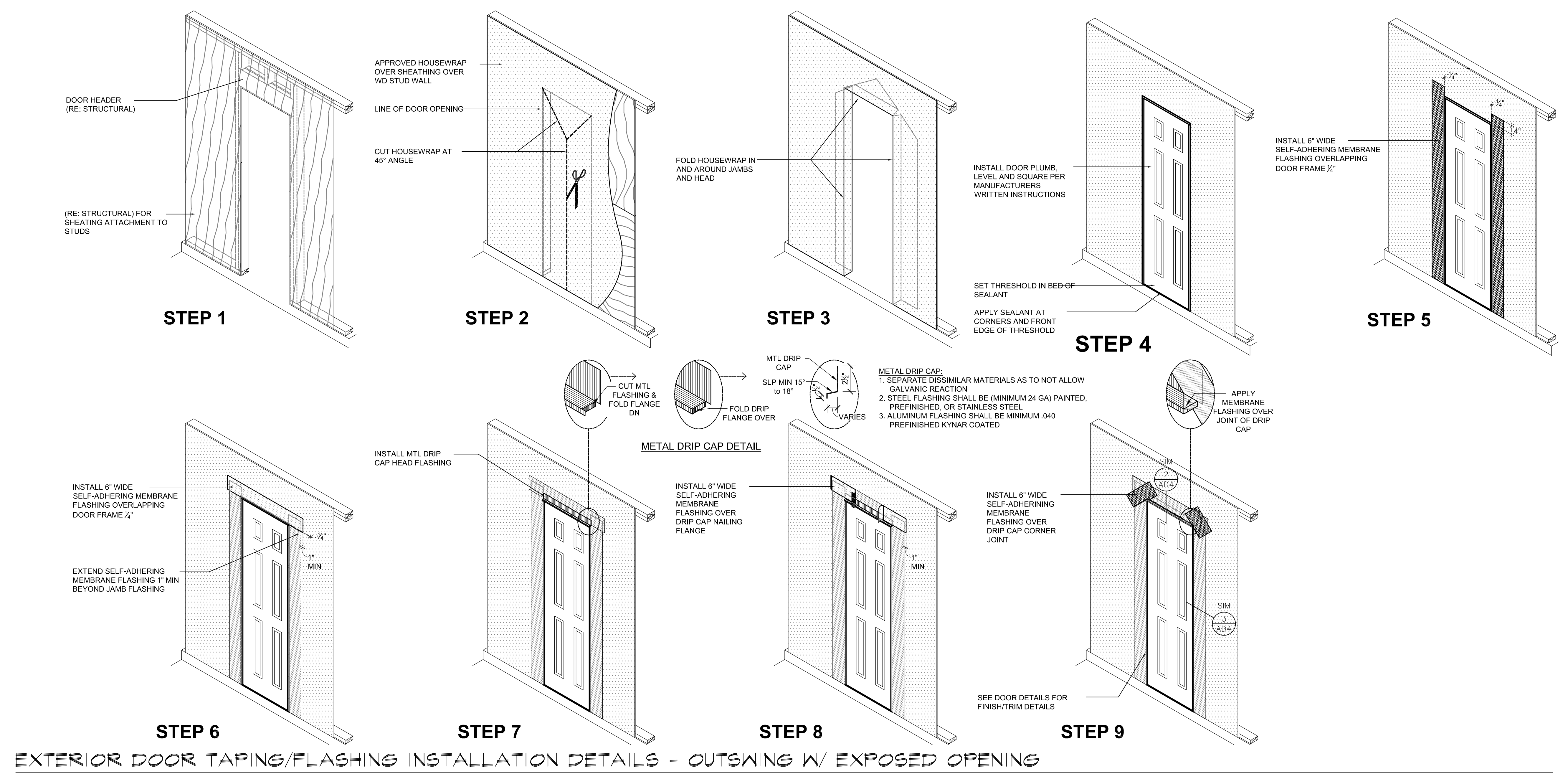
THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. AHJ APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

REVISIONS		
#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		



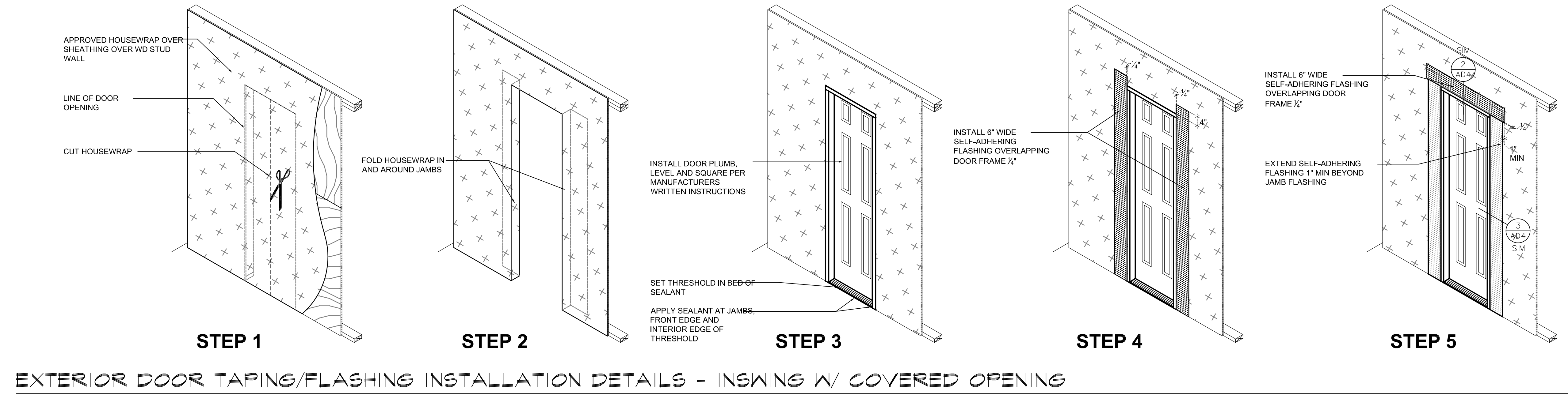
DATE: 07.20.2021
 PROJECT # 19-123.04

AD4
 PERMIT SET



EXTERIOR DOOR TAPING/FLASHING INSTALLATION DETAILS - OUTSWING W/ EXPOSED OPENING

NTS



EXTERIOR DOOR TAPING/FLASHING INSTALLATION DETAILS - INSWING W/ COVERED OPENING

NTS

R302.5.1 OPENING PROTECTION:

OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS. NOTE: DOOR TO BE SELF-CLOSING.

R302.11 FIREBLOCKING:

IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL & HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - 1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - 1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 mm).
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.14.
6. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

SECTION R302.7 UNDER-STAIR PROTECTION

ENCLOSED ACCESSIBLE SPACE UNDER THE STAIRS SHALL HAVE HALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 mm) GYPSUM BOARD.

SECTION R302.12 DRAFTSTOPPING

IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USEABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPPING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET (92.9 m²). DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS, WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW. DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:

1. CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
2. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB OR PERFORATED MEMBERS.

SECTION R302.12.1 MATERIALS

DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2-INCH (12.7 mm) GYPSUM BOARD, 3/8-INCH (9.5 mm) WOOD STRUCTURAL PANELS OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. DRAFTSTOPPING SHALL BE INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBERS UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. THE INTEGRITY OF THE DRAFTSTOPPING SHALL BE MAINTAINED.

SECTION R310 EMERGENCY ESCAPE & RESCUE OPENINGS:

R310.1 EMERGENCY ESCAPE AND RESCUE REQUIRED. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 mm) ABOVE THE FLOOR. WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE, THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION R310.3.

THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF EMERGENCY ESCAPE AND RESCUE OPENINGS FROM THE INSIDE. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

EXCEPTIONS:
1. BASEMENTS USED ONLY TO HOUSE MECHANICAL EQUIPMENT AND NOT EXCEEDING TOTAL FLOOR AREA OF 200 SQUARE FEET (18.58 m²).

2. THE EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE PERMITTED TO OPEN INTO A SCREEN ENCLOSURE, OPEN TO THE ATMOSPHERE, WHERE A SCREEN DOOR IS PROVIDED LEADING AWAY FROM THE RESIDENCE.

R310.1.1 MINIMUM OPENING AREA
ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 m²).
EXCEPTION:
GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (0.465 m²)

R310.1.2 MINIMUM OPENING HEIGHT
THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610 mm).

R310.1.3 MINIMUM OPENING WIDTH
THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508 mm).

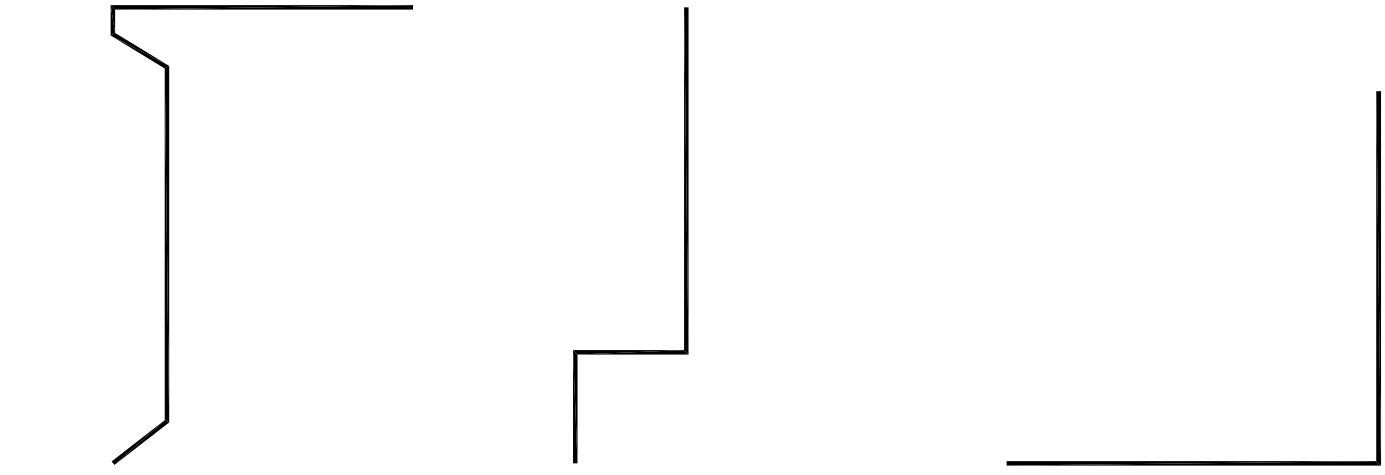
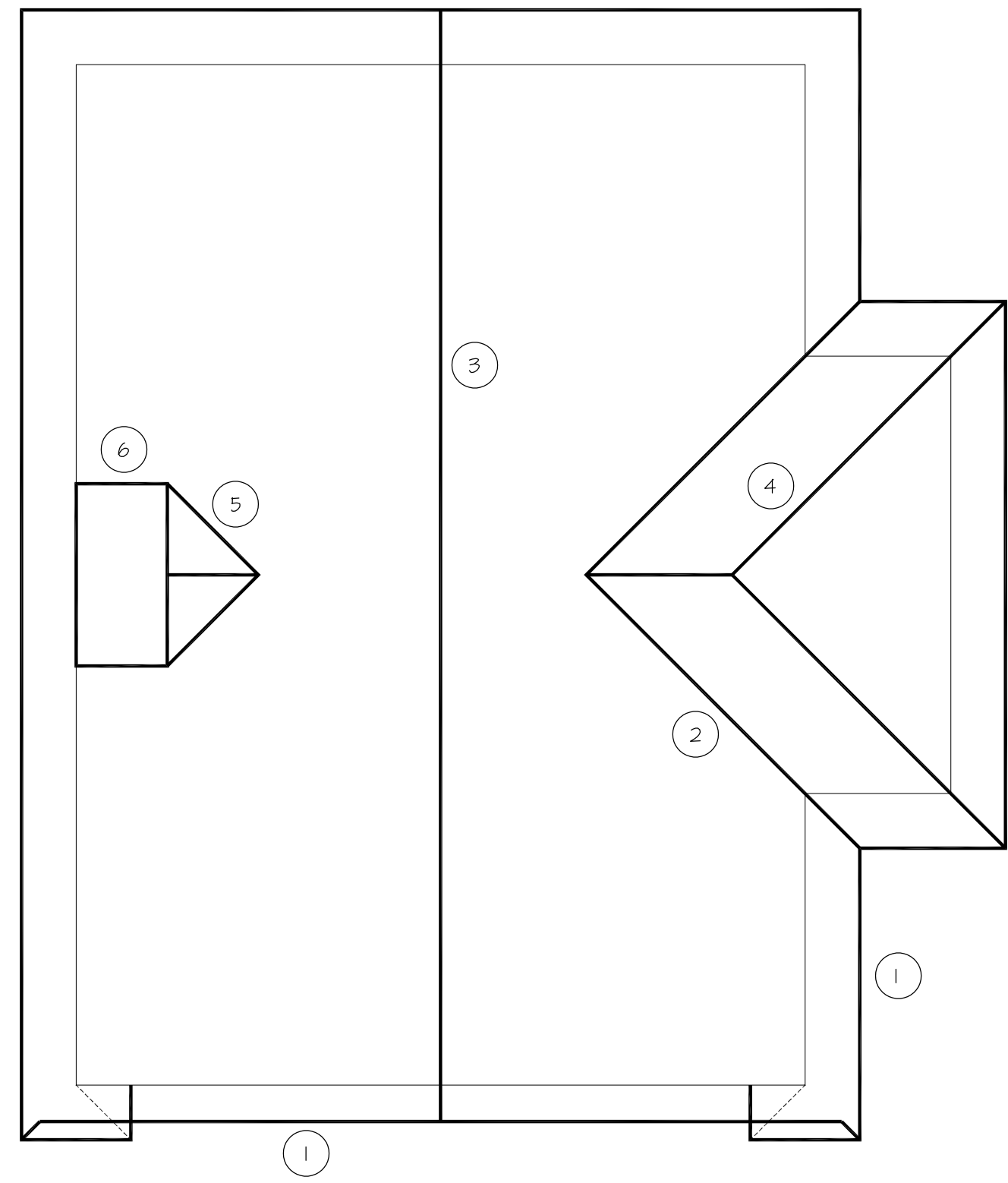
R310.1.4 OPERATIONAL CONSTRAINTS
EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.

R1003.9 TERMINATION:

CHIMNEYS SHALL EXTEND AT LEAST 2 FEET (610 mm) HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FEET (3048 mm), BUT SHALL NOT BE LESS THAN 3 FEET (914 mm) ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.

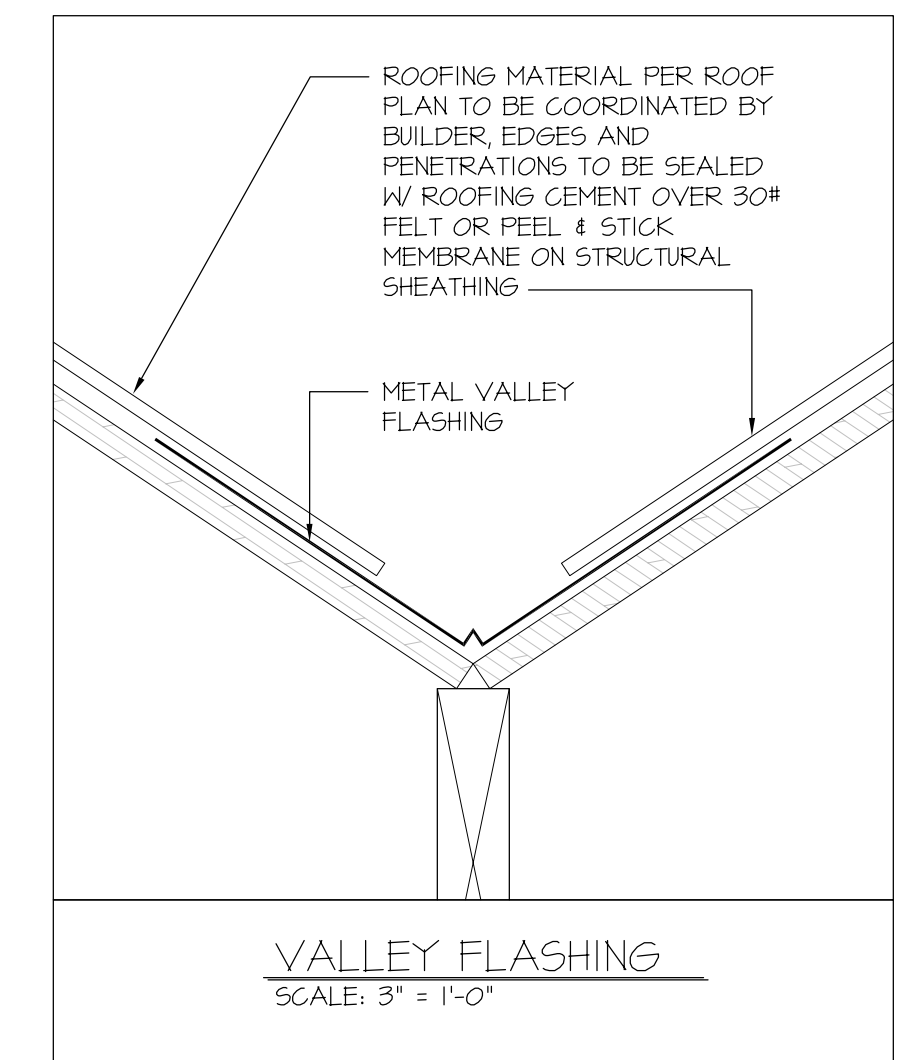
PER FBC-R-23402 AFGI PROTECTION REQUIRED
ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE.

PER FBC-R-23401.7, NEC 210, E3401.7 & E3402.3 GFCI PROTECTION REQUIRED
BATHROOMS, GARAGES, BOATHOUSES & ACCESSORY STRUCTURES NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE, WORK AND SIMILAR USES, OUTDOORS, GRAVEL SPACES, UNFINISHED BASEMENTS, KITCHEN COUNTERTOPS, OUTLETS WITHIN 6 FEET OF LAUNDRY, UTILITY OR KET SINKS, BALCONY, DECK OR PORCH GREATER THAN 20 SF, ONE AT THE FRONT AND BACK OF THE DWELLING AND AT THE CONDENSER UNITS.

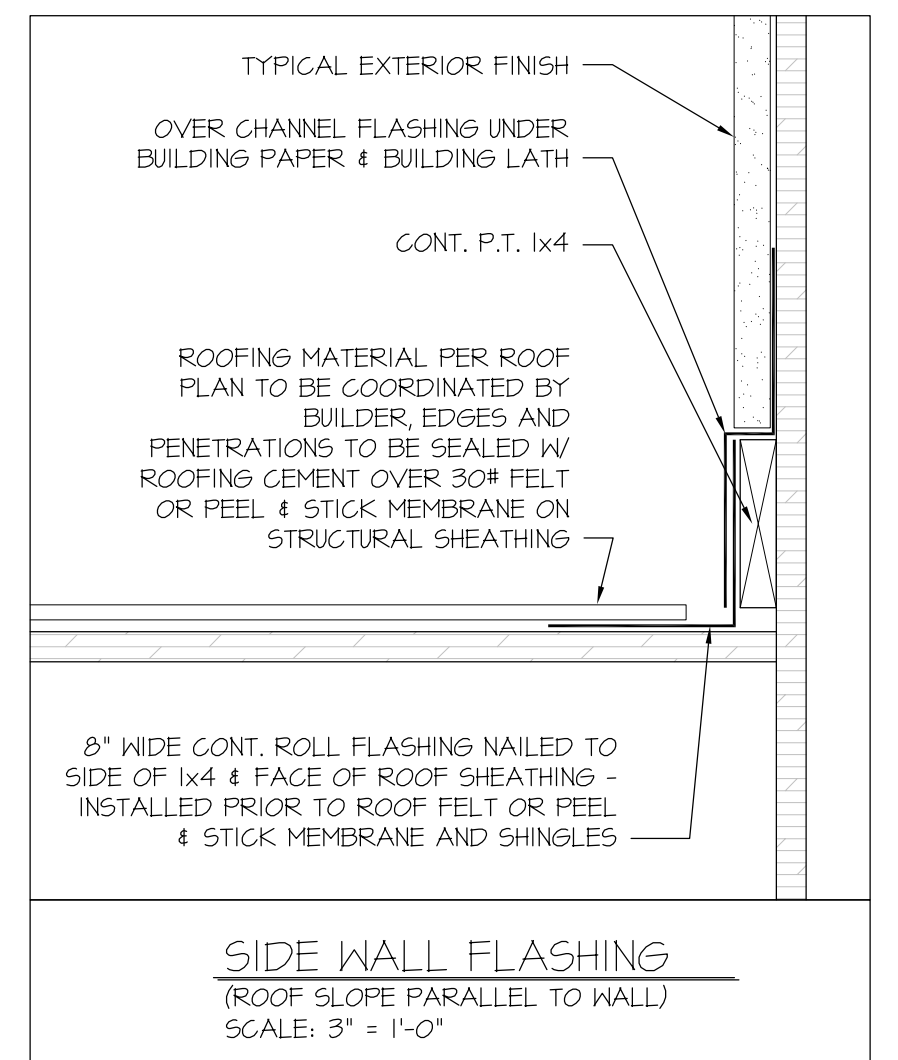


- 1 METAL DRIP EDGE
26 GAUGE GALVANIZED N.T.S.
- 2 "Z" FLASHING
24 GAUGE GALVANIZED N.T.S.
- 3 5 x 5 GALVANIZED FLASHING
26 GAUGE GALVANIZED N.T.S.

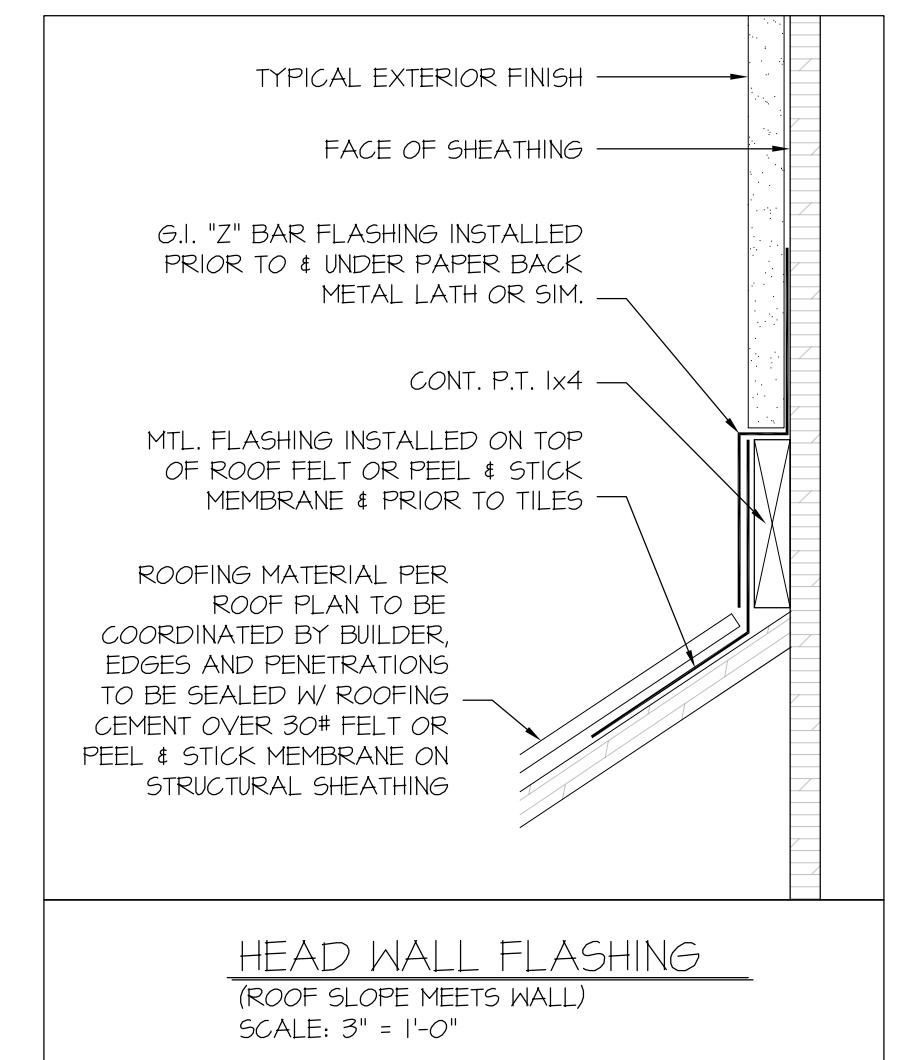
TYPICAL FLASHING LOCATIONS / NOTES
SCALE: N.T.S.



VALLEY FLASHING
SCALE: 3" = 1'-0"



SIDE WALL FLASHING
(ROOF SLOPE PARALLEL TO WALL)
SCALE: 3" = 1'-0"



HEAD WALL FLASHING
(ROOF SLOPE MEETS WALL)
SCALE: 3" = 1'-0"

1 DRIP EDGE FLASHING:

A DRIP EDGE SHALL BE PROVIDED AT EAVES AND GABLES OF TILED ROOFS, AND SHALL OVERLAP A MINIMUM OF 3" (76 mm). EAVE DRIP EDGES SHALL EXTEND 1/2" (13 mm) BELOW THE SHEATHING, AND EXTEND BACK ON THE ROOF FOR A MINIMUM OF 2 INCHES (51 mm). THE DRIP EDGE SHALL BE MECHANICALLY FASTENED A MAXIMUM OF 6 (152 mm) INCHES O.C.

THE DRIP EDGE AT EAVES SHALL BE INSTALLED OVER THE UNDERLAYMENT. THERE SHALL BE A MINIMUM 4 INCH (102 mm) WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.

WHERE THE BASIC WIND SPEED PER FIGURE R301.2(4) IS 110 mph (171 km/h) OR GREATER OR THE MEAN ROOF HEIGHT EXCEEDS 33 FEET (10058 mm), DRIP EDGES SHALL BE MECHANICALLY FASTENED A MAXIMUM OF 4 INCHES (102 mm) ON CENTER.

INSTALL A MINIMUM 8" WIDE ANTI-PONDING METAL FLASHING TO ENSURE POSITIVE DRAINAGE OVER FASCIA/STARTER STRIP. NAIL TOP EDGE OF FLANGE ONTO ROOF.

THE UNDERLAYMENT SHALL CONFORM WITH ASTM D 226, TYPE I OR TYPE II, OR ASTM D 4869, TYPE I OR TYPE II. THE UNDERLAYMENT SHALL BE INSTALLED IN WATER-SHEDDING FASHION, STARTING WITH THE EAVE EDGE AND ROLLED HORIZONTALLY. UNDERLAYMENT SHALL OVERLAP A MINIMUM OF (19) INCHES AND BE MECHANICALLY FASTENED AT (36) INCHES O.C. MAXIMUM.

2 VALLEY FLASHING:

VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, BEFORE APPLYING TILES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED:

1. FOR CLOSED VALLEYS: INSTALL PREFORMED CLOSED VALLEY METAL - EITHER A MIN. WIDTH OF 16" (24" STRETCH OUT) W/ A MIN. 2 1/2" HIGH CENTER DIVERTER AND A MIN. 1" METAL EDGE RETURNS OR A RIBBED DESIGN W/ 1" CENTER DIVERTER, A MIN. (4) 3/4" RIBS SPACED 3 1/2" W/ 3 3/4" FLANGE. LAP JOINTS A MIN. 6" AND APPLY A COATING OR SEPARATOR SHEET.
2. FOR OPEN VALLEYS: INSTALL PREFORMED OPEN VALLEY WITH A MIN. OF 16" (24" STRETCH OUT) WITH A MIN. OF 1" HIGH TWIN CENTER DIVERTER AND A MIN. 1" METAL EDGE RETURNS. LAP JOINTS A MIN. 6" AND APPLY A COATING OR SEPARATOR SHEET.
3. WHEN USING VALLEY METAL WITH RETURNS:
 - A. SECURE W/ CLIPS FABRICATED FROM SIMILAR OR COMPATIBLE MATERIAL. CLIP 1" METAL EDGE RETURNS TO BATTEN STRIP W/ ROOFING NAIL THROUGH METAL STRIP.
 - B. TRIM METAL AT ALL VALLEY/RIDGE JUNCTIONS, ENSURING WATER SHEDDING CAPABILITIES ONTO THE VALLEY.
 - C. INSTALL LEAD SOAKER AT ALL VALLEY/RIDGE JUNCTIONS. TURN LEAD UP A MIN. OF 1" TO CREATE A WATER DIVERTER, ENSURING WATER SHEDDING CAPABILITIES ONTO THE VALLEY.
 - D. OUTER EDGE OF THE VALLEY METAL SHALL OVERLAP DECK FLANGE OF DRIP EDGE A MIN. OF 1". CENTER OF VALLEY FLASHING SHALL EXTEND A MIN. OF 2" BEYOND DRIP EDGE.

3 RIDGE FLASHING:

THE UNDERLAYMENT SHALL BE INSTALLED IN WATER-SHEDDING FASHION. THE LAST LAYER APPLIED AT THE RIDGE SHALL BE FOLDED OVER THE RIDGE AND MECHANICALLY FASTENED AT (36) INCHES O.C. MAXIMUM TO THE OPPOSING SIDE OF THE ROOF. REPEAT THE PROCEDURE FOR THE OPPOSING SIDE OF THE ROOF. WHEN COMPLETED, THERE WILL BE TWO LAYERS OF UNDERLAYMENT OVERLAPPING THE RIDGE.

4 HIP FLASHING:

THE UNDERLAYMENT SHALL BE INSTALLED IN WATER-SHEDDING FASHION. AT THE HIP LINE, FOLD THE UNDERLAYMENT OVER THE HIP AND MECHANICALLY FASTEN AT (36) INCHES O.C. MAXIMUM TO THE OPPOSING SIDE OF THE ROOF. REPEAT THE PROCEDURE FOR THE OPPOSING SIDE OF THE ROOF. WHEN COMPLETED, THERE WILL BE TWO LAYERS OF UNDERLAYMENT OVERLAPPING THE HIP.

5 CRICKETS AND SADDLES FLASHING:

A CRICKET OR SADDLE SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY CHIMNEY GREATER THAN (30) INCHES (762 mm) WIDE. CRICKET OR SADDLE COVERINGS SHALL BE SHEET METAL OR OF THE SAME MATERIAL AS THE ROOF COVERING.

THE RIDGE AND VALLEY FLASHING OF CRICKETS OR SADDLES SHALL BE THE SAME AS THE RIDGE AND VALLEY FLASHING ON THE MAIN ROOF.

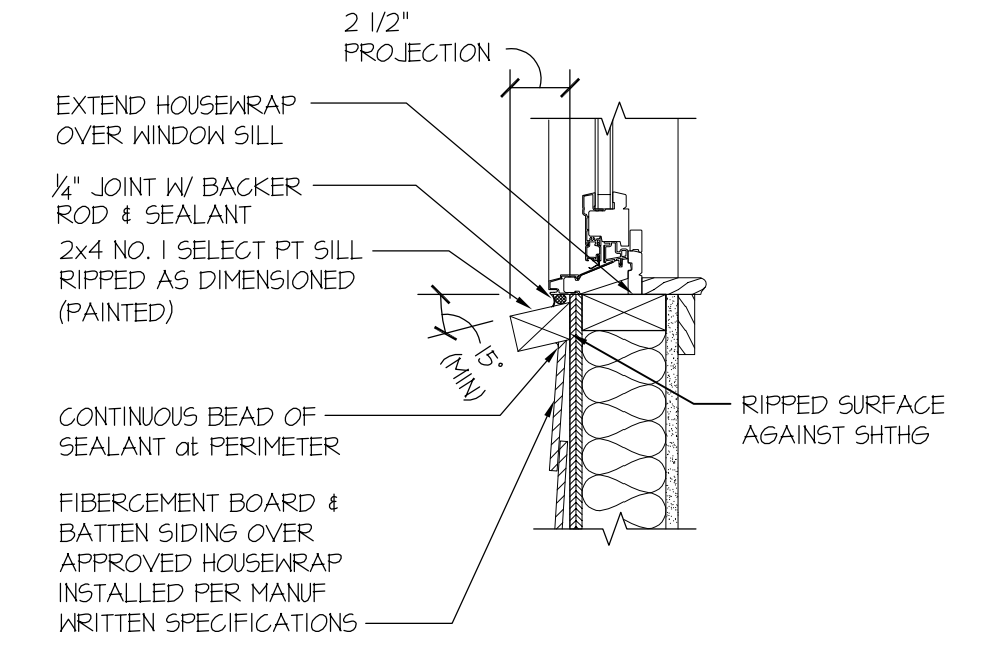
6 BASE AND COUNTER FLASHING:

BASE AND COUNTER FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, OR A CONTINUOUS METAL - MIN. 4 INCH BY 4 INCH "L" FLASHING SHALL BE SET IN APPROVED FLASHING CEMENT AND SET FLUSH TO THE BASE OF THE WALL, AND OVER THE UNDERLAYMENT. BOTH HORIZONTAL AND VERTICAL METAL FLASHINGS SHALL BE FASTENED 6 INCHES (152 mm) ON CENTER WITH APPROVED FASTENERS.

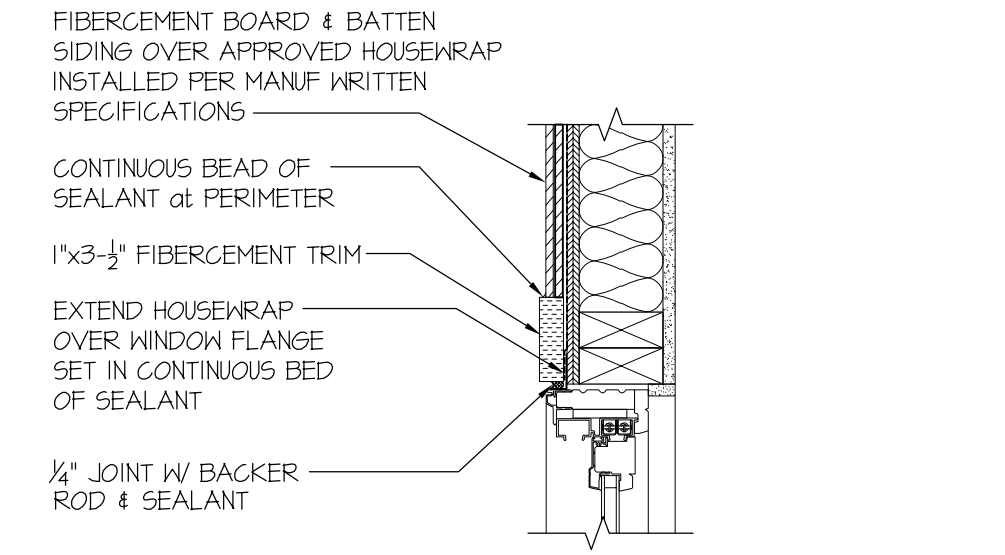
ALL LAPS SHALL BE A MIN. OF 4 INCHES (102 mm). FILL SEALED IN APPROVED FLASHING CEMENT. FLASHING SHALL START AT THE LOWER PORTION OF THE ROOF TO ENSURE WATER-SHEDDING CAPABILITIES OF ALL METAL LAPS. THE ENTIRE EDGE OF THE HORIZONTAL FLANGE SHALL BE SEALED, COVERING ALL NAIL PENETRATIONS WITH APPROVED FLASHING CEMENT AND MEMBRANE. SHINGLES SHALL OVERLAP THE HORIZONTAL FLANGE, AND SHALL BE SET IN APPROVED FLASHING CEMENT.

BASE FLASHING SHALL BE OF EITHER CORROSION-RESISTANT METAL PROVIDED IN SECTION R105.2.1 OR MINERAL SURFACE ROLL ROOFING, WEIGHING A MIN. OF (77) POUNDS PER (100) SQUARE FEET (3.76 kg/M²). COUNTER FLASHING SHALL BE CORROSION-RESISTANT METAL WITH A MIN. THICKNESS PROVIDED IN TABLE 903.1 IN THE FLORIDA BUILDING CODE 2015 5TH EDITION.

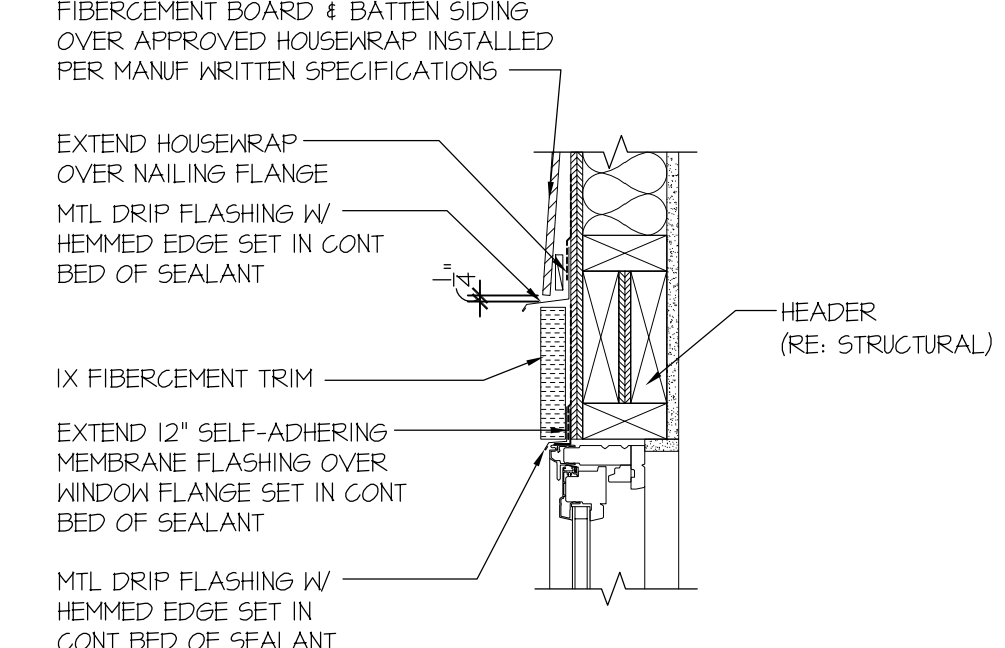
NOTE:
REFER TO THE FLORIDA ROOFING SHEET METAL AND AIR CONDITIONING CONTRACTORS (FRSA), CONCRETE AND CLAY ROOF TILE INSTALLATION MANUAL FOR MORE INFORMATION.



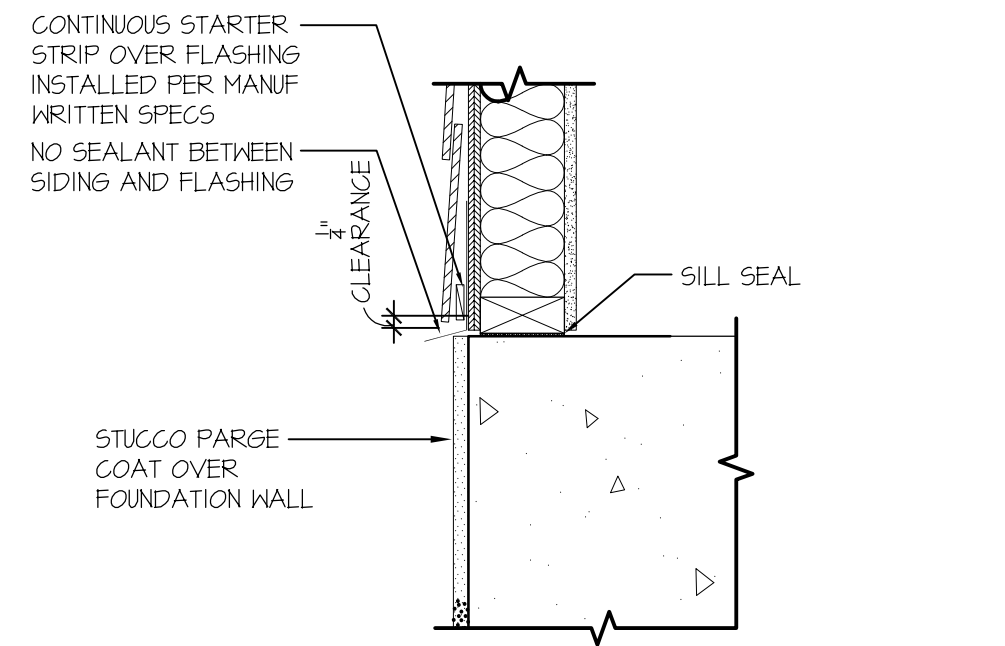
4 WINDOW SILL, TYP.
AD5 1-1/2" = 1'-0"



3 WINDOW JAMB, TYP. (DOOR SIMILAR)
AD5 1-1/2" = 1'-0"



2 WINDOW HEAD, TYP. (DOOR SIMILAR)
AD5 1-1/2" = 1'-0"



1 SILL PLATE, TYP.
AD5 1-1/2" = 1'-0"



ARCHITECTURE-IN-C
JAA ARCHITECTURE INC.
2716 ST. JOHNS AVE.
JACKSONVILLE, FL 32205
P: (904) 379-5108
E: JOHN@JAAARCHITECTURE.COM
LIC. AR92748

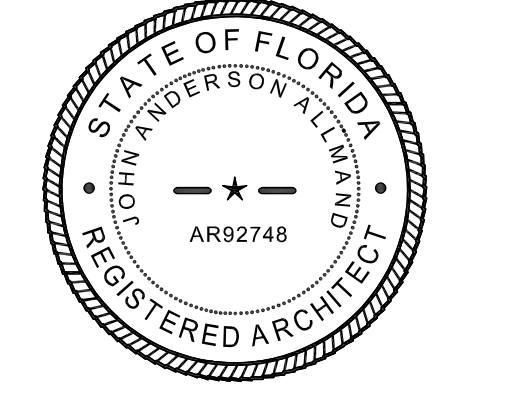
THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER'S SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OR PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 639, FLORIDA STATUTES, TO THE BEST OF THE ARCHITECT'S KNOWLEDGE. THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2022 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

"NEW CONSTRUCTION"
ELEVATION "A" & LEFT RISER ROOM
38x58 QUAD
9612 HOOD ROAD - LOT #1
JACKSONVILLE FLORIDA

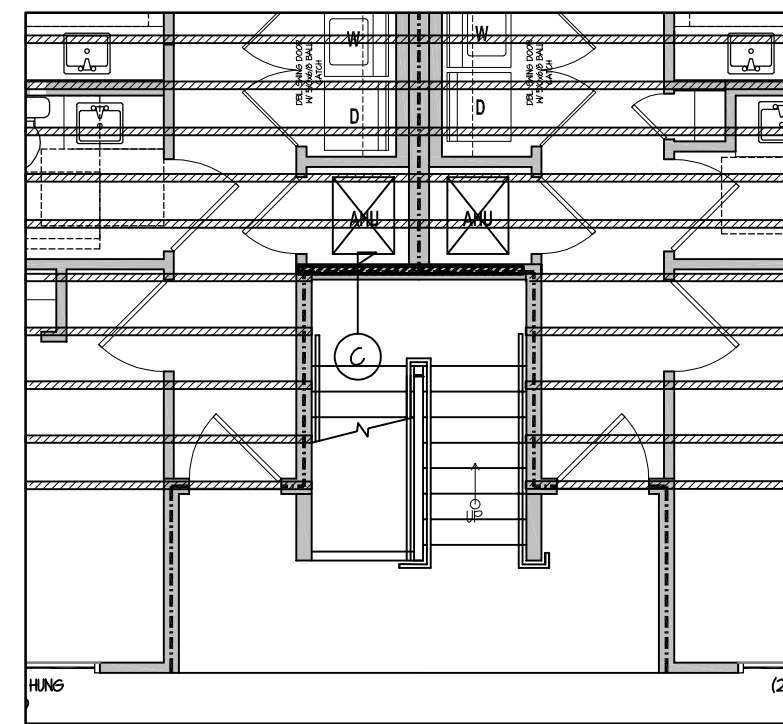
THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. ANY APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

REVISIONS		
#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

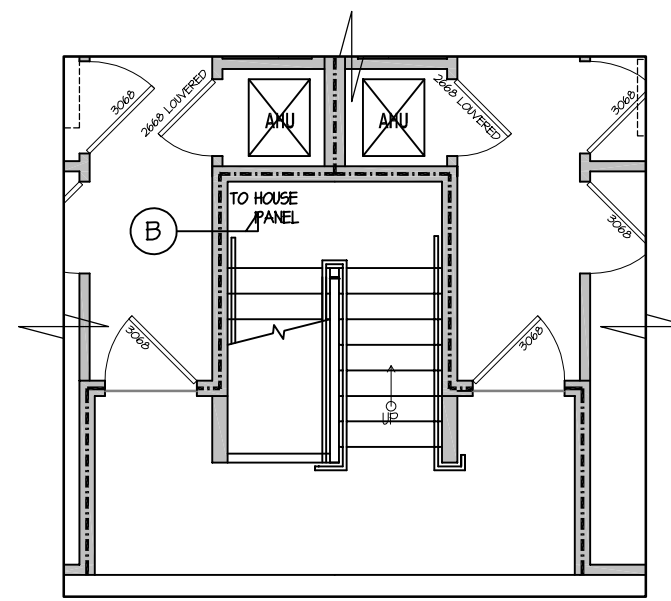


DATE: 07.20.2021
PROJECT #: 19-123.04

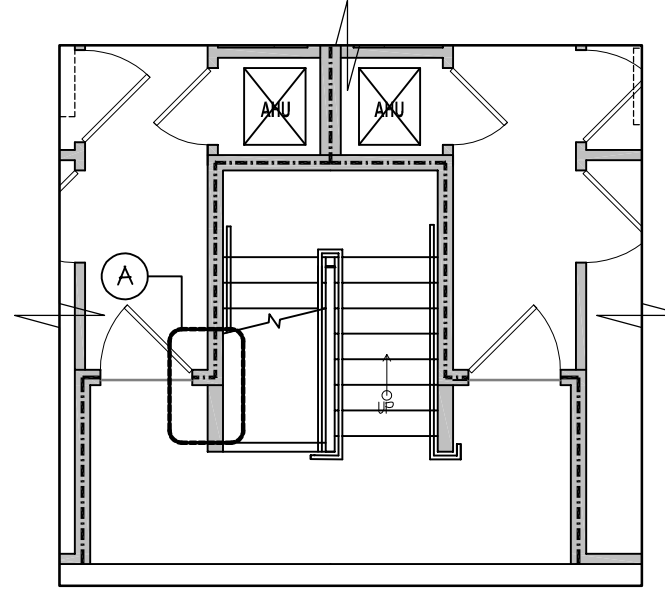
AD5
PERMIT SET



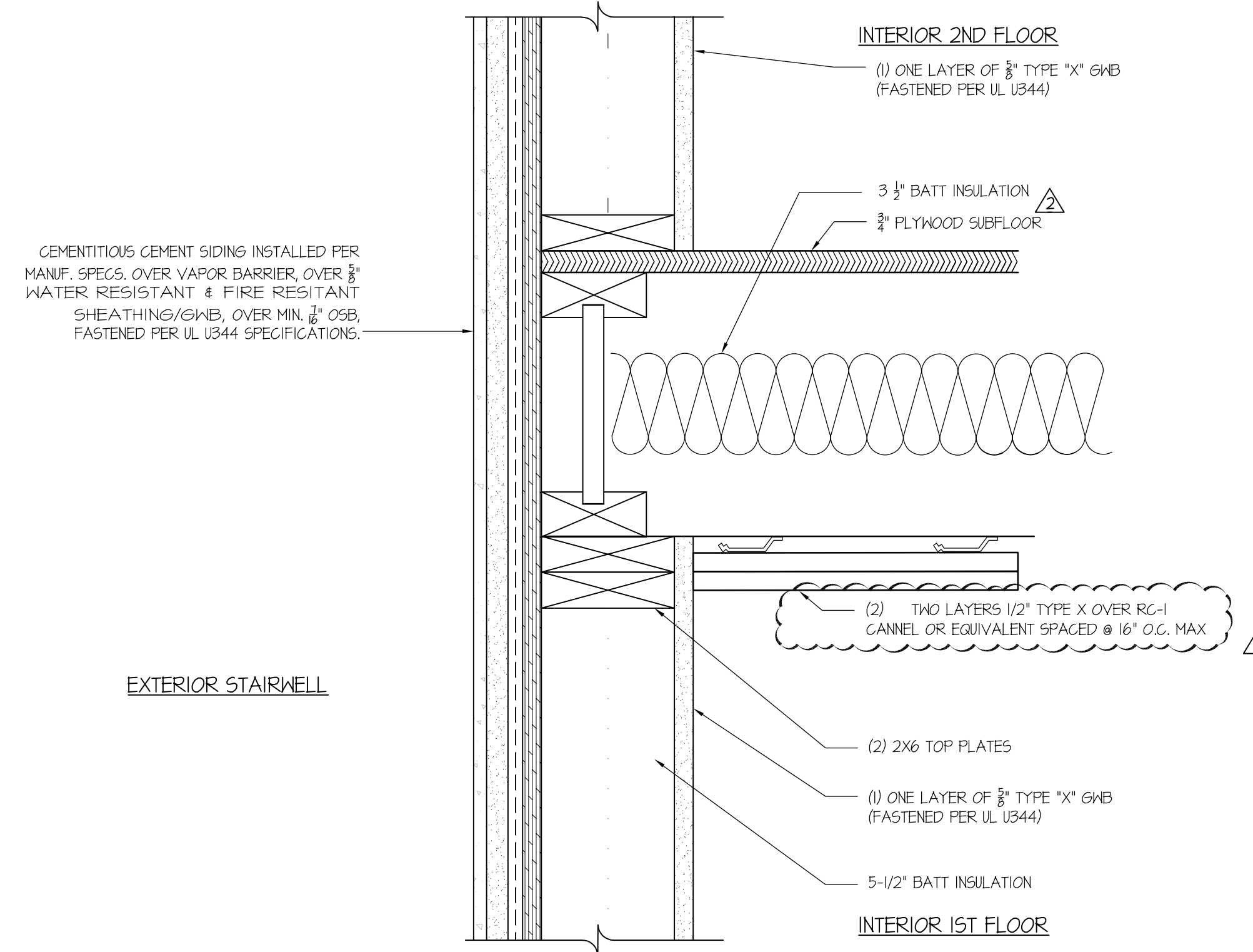
PLAN VIEW @ TRUSS
NTS.



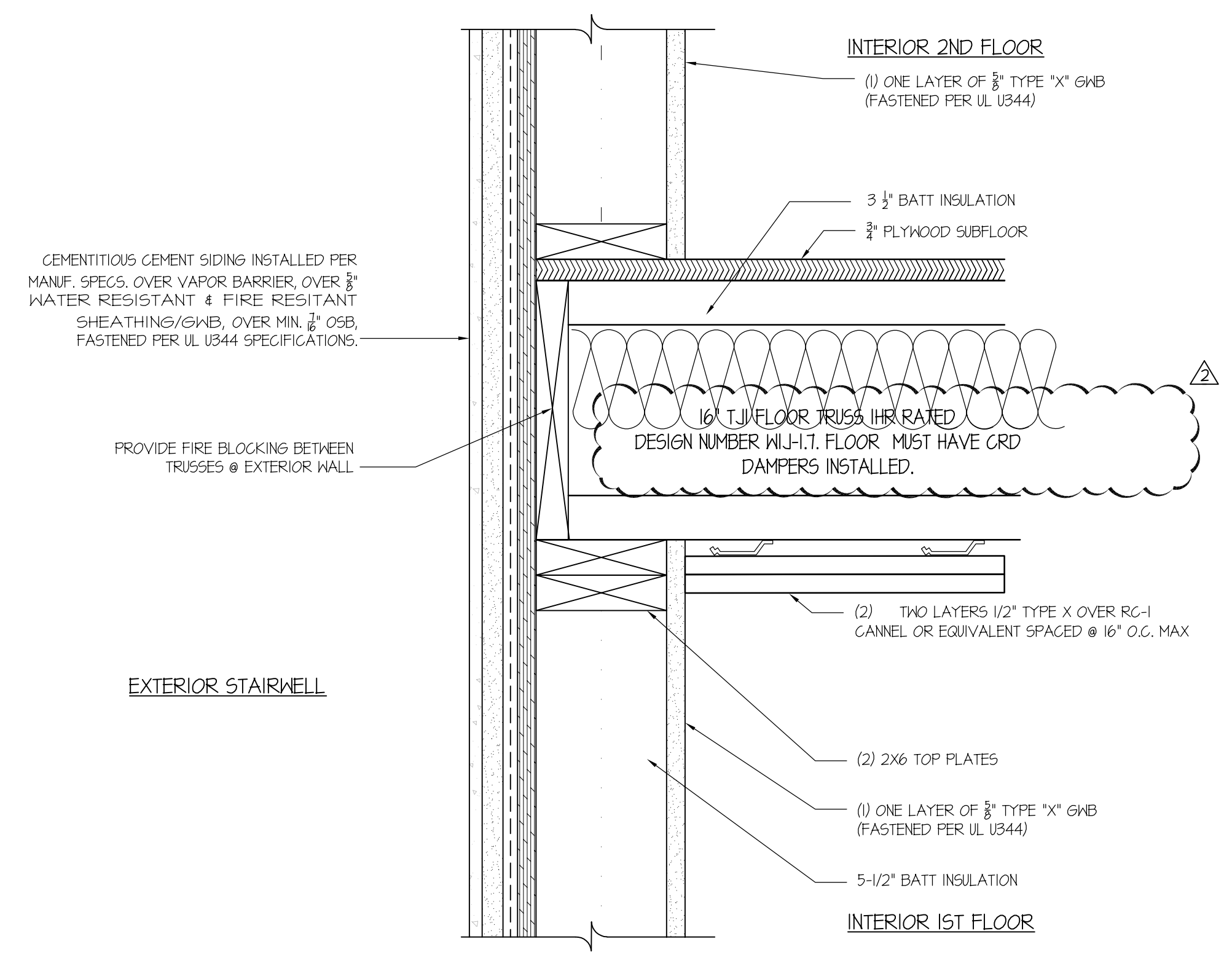
PLAN VIEW
NTS.



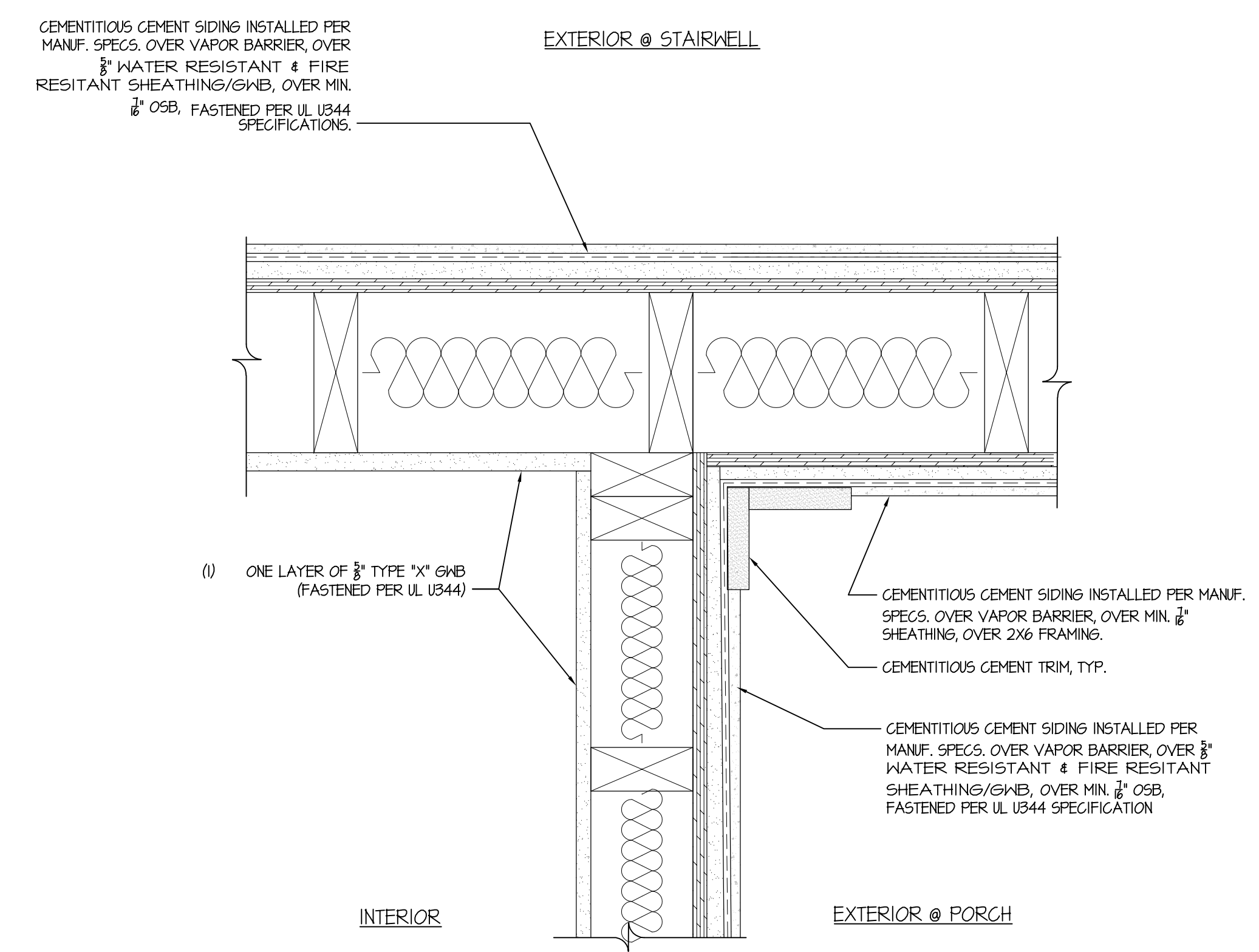
PLAN VIEW
NTS.



C EXTERIOR RATED WALL TO RATED FLOOR (SECTION VIEW)
ADS SCALE: 3" = 1'-0"



B EXTERIOR RATED WALL TO RATED FLOOR (SECTION VIEW)
ADS SCALE: 3" = 1'-0"



A EXTERIOR RATED WALL TO NON RATED WALL (PLAN VIEW)
ADS SCALE: 3" = 1'-0"



JAA ARCHITECTURE-INC.
2716 ST. JOHNS AVE.
JACKSONVILLE FL 32205
P: (904) 379-5108
E: JOHN@JAAARCHITECTURE.COM
LIC. AR92748

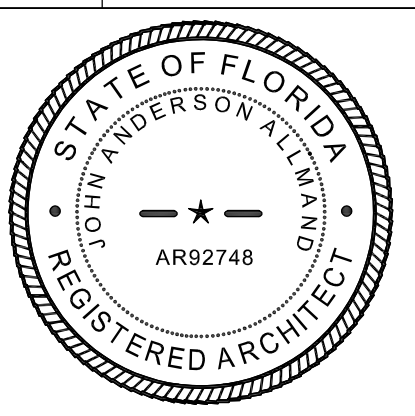
THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER'S SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OR PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 639, FLORIDA STATUTES, TO THE BEST OF THE ARCHITECT'S KNOWLEDGE. THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2022 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

"NEW CONSTRUCTION"
ELEVATION "A" & LEFT RISER ROOM
38x58 QUAD
9612 HOOD ROAD - LOT #1
JACKSONVILLE FLORIDA

THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. AHJ APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

REVISIONS		
#	DATE	DESCRIPTION
1	1.3.2022	REVIEW COMMENTS
2	4.21.2022	REVIEW COMMENTS
3		
4		
5		
6		
7		



DATE: 07.20.2021
PROJECT # 19-123.04

AD6

PERMIT SET



JAA ARCHITECTURE INC.
 2716 ST. JOHNS AVE.
 JACKSONVILLE, FL 32205
 P: (904) 379-5108
 E: JOHN@JAAARCHITECTURE.COM
 LIC. AR92748

THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OR PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 553, FLORIDA STATUTES. THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2022 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

**"NEW CONSTRUCTION"
 ELEVATION "A" & LEFT RISER ROOM
 38x58 QUAD
 9612 HOOD ROAD - LOT #1
 JACKSONVILLE FLORIDA**

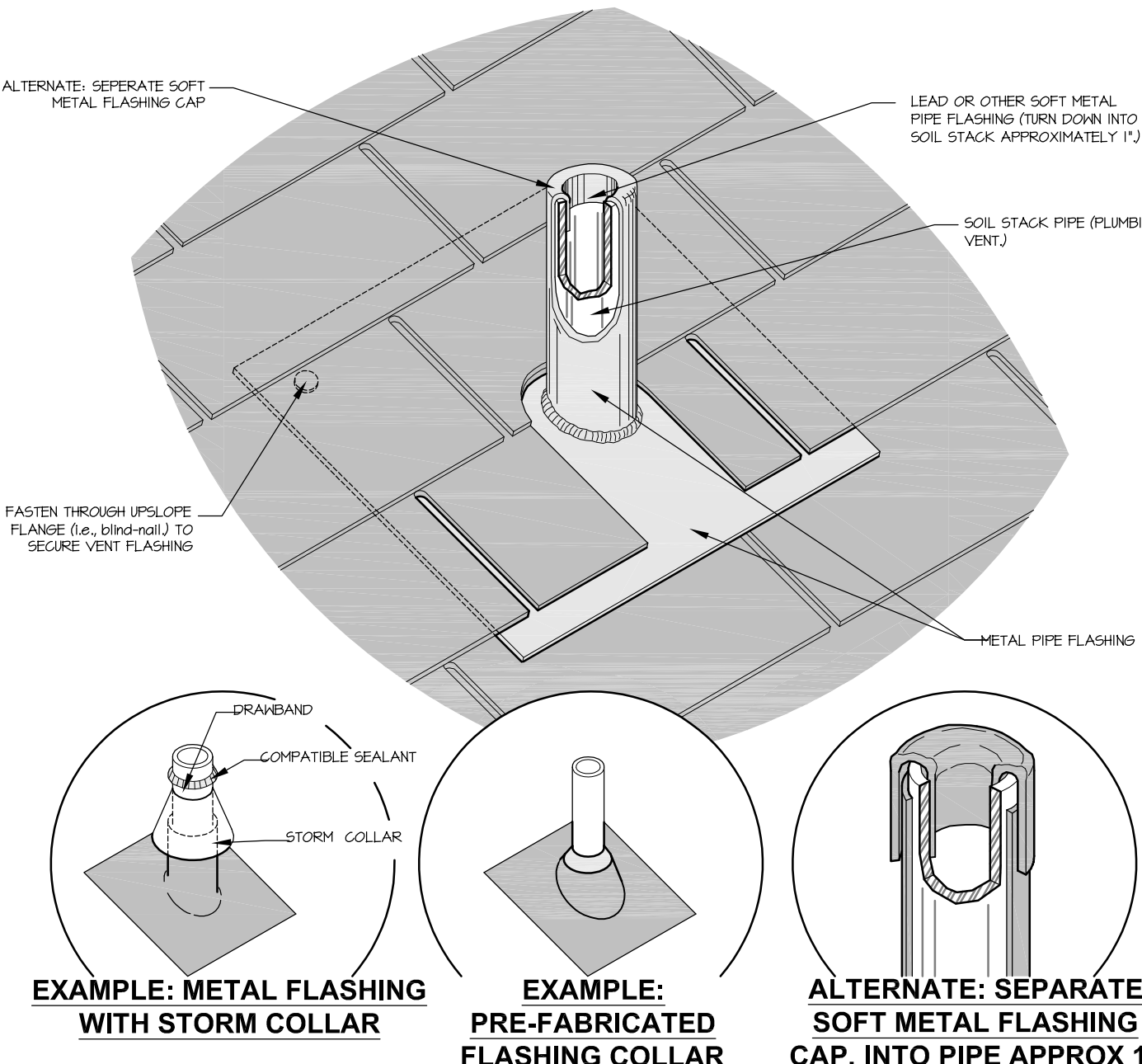
THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMANN, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. AHJ APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHJ.

REVISIONS		
#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		



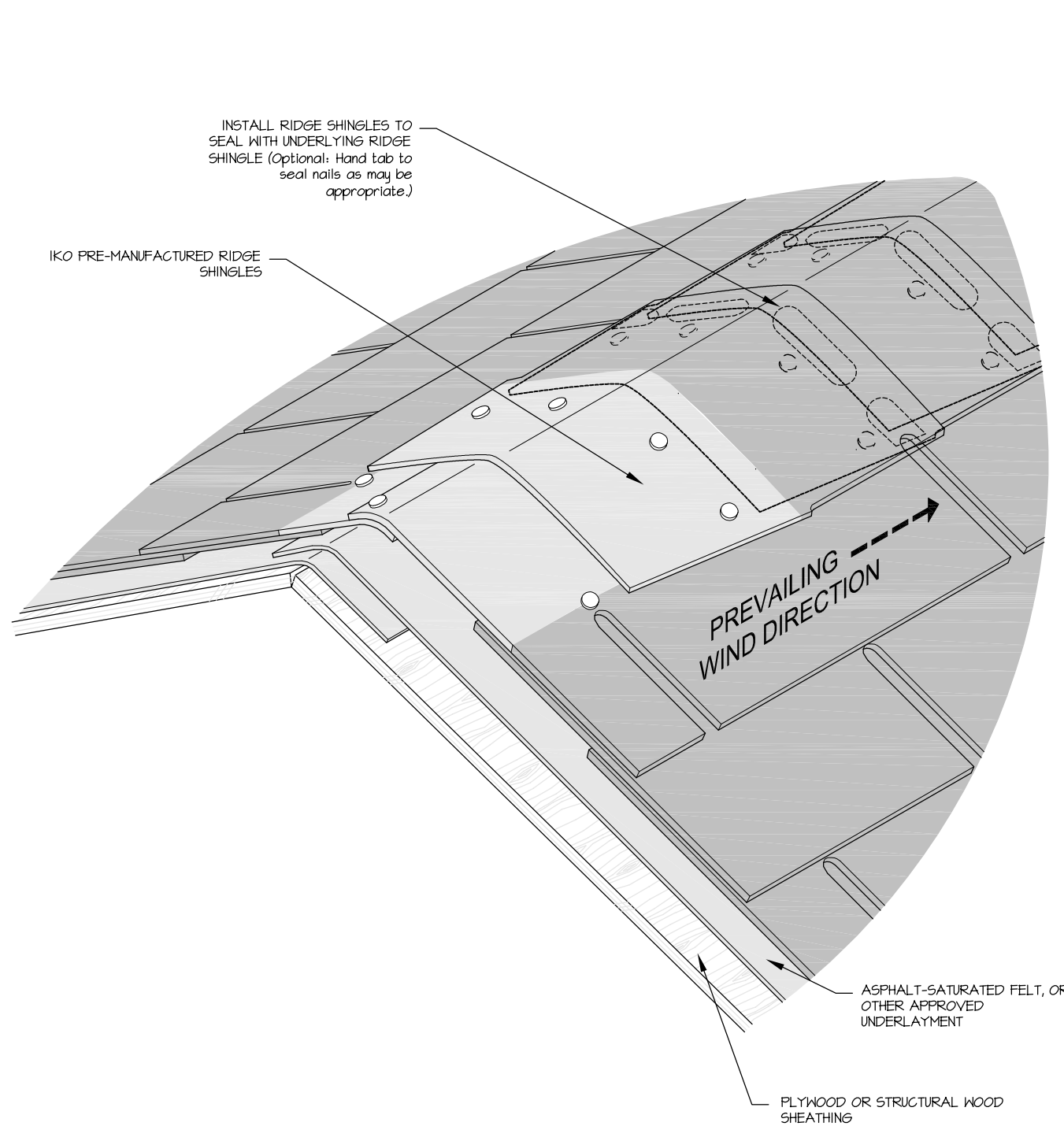
DATE: 07.20.2021
 PROJECT # 19-123.04

AD7
 PERMIT SET



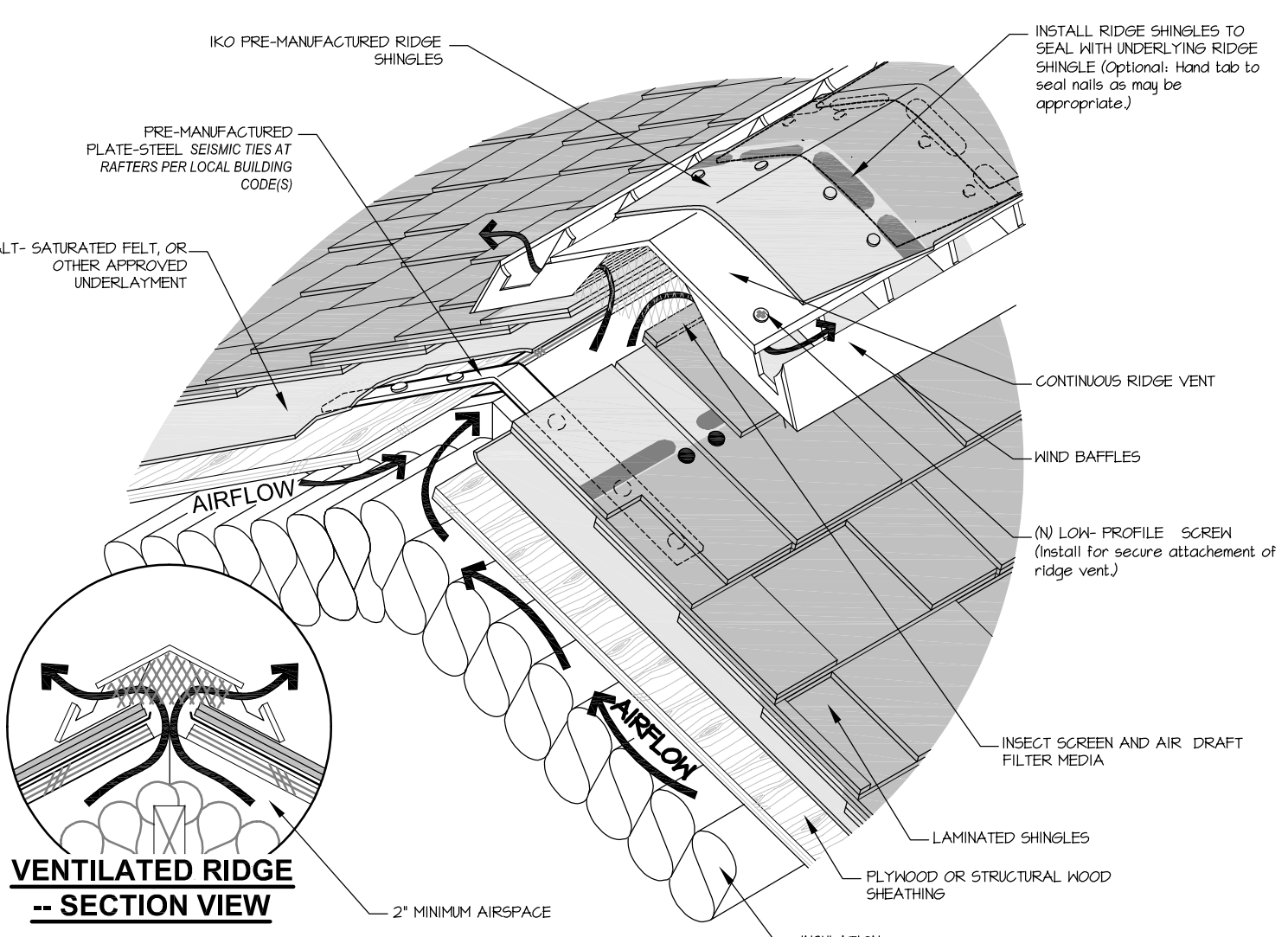
- EXAMPLE: METAL FLASHING WITH STORM COLLAR**
- EXAMPLE: PRE-FABRICATED FLASHING COLLAR**
- ALTERNATE: SEPARATE SOFT METAL FLASHING CAP, INTO PIPE APPROX 1"**
- NOTES:**
 1. DETAIL DRAWN SHOWING MARATHON, ALSO APPLIES TO OTHER STYLES.
 2. IN COLD CLIMATES, WHERE SNOW AND ICE ARE COMMON, AN ICE & WATER PROTECTOR MEMBRANE IS RECOMMENDED AS AN ICE-DAM PROTECTION MEMBRANE AT ALL POTENTIAL ICE DAMMING LOCATIONS SUCH AS DOWNSLOPE EAVES, VALLEYS, CRACKETS, AROUND PENETRATIONS, AND RAKE EDGES. CONSULT LOCAL BUILDING CODE REQUIREMENTS.
 3. SOIL PIPE STACKS SHOULD EXTEND A MINIMUM OF 6" ABOVE ROOF SURFACE.
 4. IF EXPOSED FASTENERS ARE PLACED THROUGH VENT'S DOWNSLOPE FLANGE, THEY SHOULD BE WEATHERTIGHT, GASKETED FASTENERS (E.G., RING-SHANK NAILS OR SCREWS).
 5. DIMENSIONS SHOWN ARE RECOMMENDED MINIMUMS AND ARE INTENDED TO BE APPROXIMATE TO ALLOW FOR REASONABLE TOLERANCES DUE TO FIELD CONDITIONS.
 6. THE PROFILE OF SPECIFIC COMPONENTS, THEIR CONFIGURATION OR SEQUENCING, CAN VARY WITH THE ROOF SYSTEM, WITH CLIMATIC DIFFERENCES, AND REGIONAL OR AREA PRACTICES.
 7. IT MAY BE THAT THE LAYOUT OF THE SOIL PIPE PENETRATION OCCURS IN SUCH A WAY THAT AN ASPHALT SHINGLE BUTT-END JOINT, OR SHINGLE TAB CUTOUT, ALIGNS WITH THE EDGE AND/OR BACK OF THE METAL FLASHING'S FLANGE. IN THIS CASE, I/O RECOMMENDS INSTALLING A PRESSURE-SENSITIVE SELF-ADHERED MODIFIED-ASPHALT MEMBRANE, OR OTHER MEMBRANE, TO STRIP-IN THE SIDES AND BACK OF THE METAL FLASHING FLANGE TO EFFECTIVELY EXTEND THESE FLASHINGS.

6 VENT PIPE DETAIL
 AD7 N.T.S.



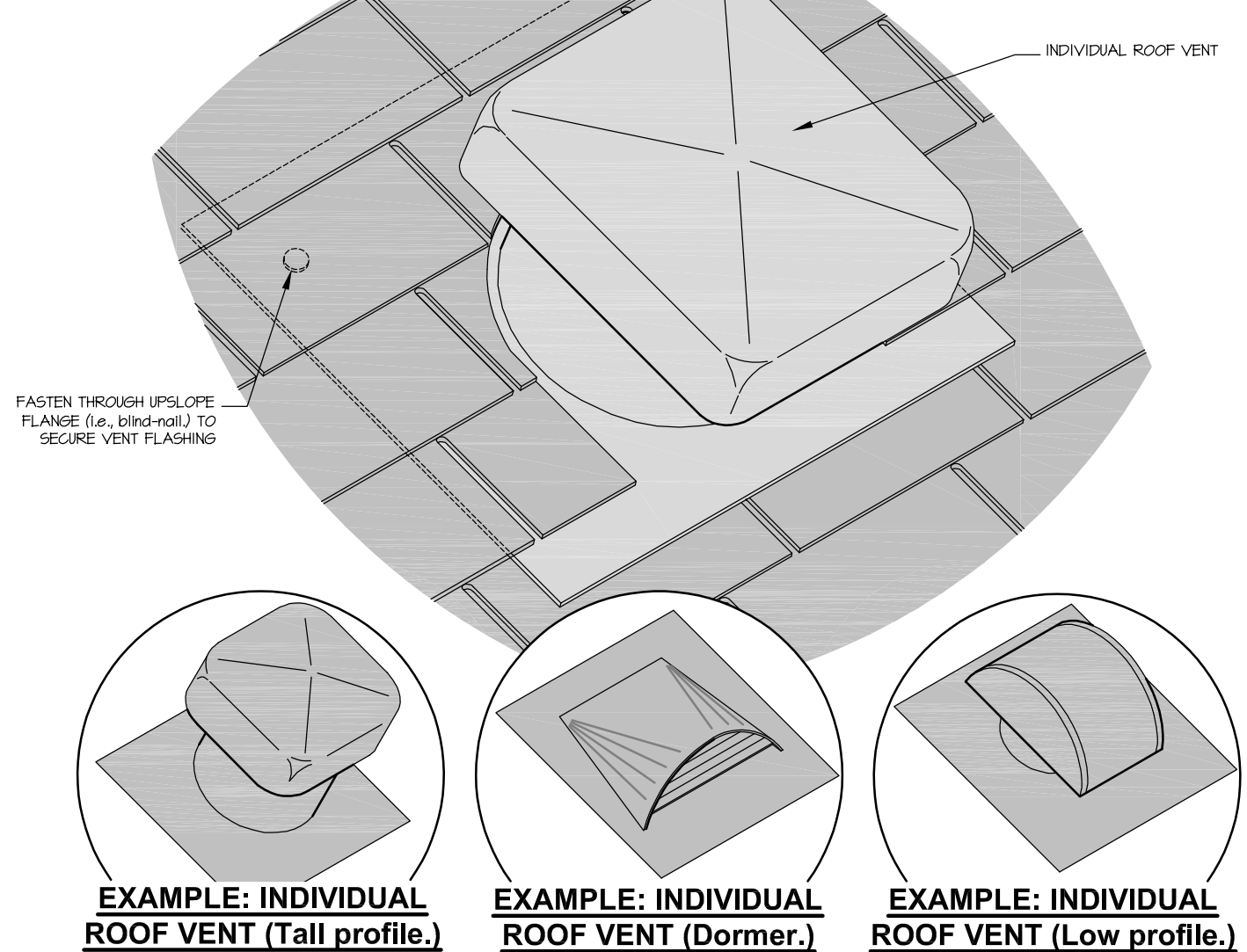
- NOTES:**
 1. IN COLD CLIMATES, WHERE SNOW AND ICE ARE COMMON, AN ICE & WATER PROTECTOR MEMBRANE IS RECOMMENDED AS AN ICE-DAM PROTECTION MEMBRANE AT ALL POTENTIAL ICE DAMMING LOCATIONS SUCH AS DOWNSLOPE EAVES, VALLEYS, CRACKETS, AROUND PENETRATIONS, AND RAKE EDGES. CONSULT LOCAL BUILDING CODE REQUIREMENTS.
 2. TO DETERMINE AERATION REQUIREMENTS AND/OR VENTILATION, INCLUDING VENT SIZES/NEEDS, REFER TO LOCAL BUILDING CODES.
 3. SHEET METAL VENTILATORS ARE SUGGESTED TO BE A MINIMUM OF 20-GAUGE PRE-FINISHED/PAINTED GALVANIZED STEEL, 16 OZ. COPPER, .032-INCH THICK PRE-FINISHED ALUMINUM, OR AN EQUIVALENT LONGEVITY NON-CORROSIIVE METAL, SUITABLE FOR WEATHERTIGHT, CONTROL OR SOLIDIFIED FABRICATION.
 4. IF EXPOSED FASTENERS ARE PLACED THROUGH THE RIDGE VENTILATOR'S DOWNSLOPE FLANGE, THEY SHOULD BE WEATHERTIGHT, GASKETED FASTENERS (E.G., RING-SHANK NAILS OR SCREWS).
 5. NOTE THAT THE ABOVE ILLUSTRATION OF A RIDGE VENT DEPICTS ONE TYPE OR STYLE OF SHINGLE-OVER RIDGE VENTILATOR, BUT THERE ARE NUMEROUS DIFFERENT TYPES AND PROFILES ON THE MARKET.
 6. DIMENSIONS SHOWN ARE RECOMMENDED MINIMUMS AND ARE INTENDED TO BE APPROXIMATE TO ALLOW FOR REASONABLE TOLERANCES DUE TO FIELD CONDITIONS.
 7. THE PROFILE OF SPECIFIC COMPONENTS, THEIR CONFIGURATION OR SEQUENCING, CAN VARY WITH THE ROOF SYSTEM, WITH CLIMATIC DIFFERENCES, AND REGIONAL OR AREA PRACTICES.
 8. ILLUSTRATION OF COMPONENTS (E.G., HEAVY-PLATE STEEL RIDGE TIES), FASTENERS, FASTENER NUMBER, SPACING, ETC., IS A GENERIC EXAMPLE OF ONE OPTION TO ALLOW FOR ROOF VENTILATION AND NOT INTENDED TO DEPICT ANY PARTICULAR PRODUCT, ARCHITECTURE, NOR ENGINEERING. SEE LOCAL BUILDING CODE AND STRUCTURAL ENGINEER AS MAY BE REQUIRED.

7 NON-VENTED RIDGE DETAIL
 AD7 N.T.S.



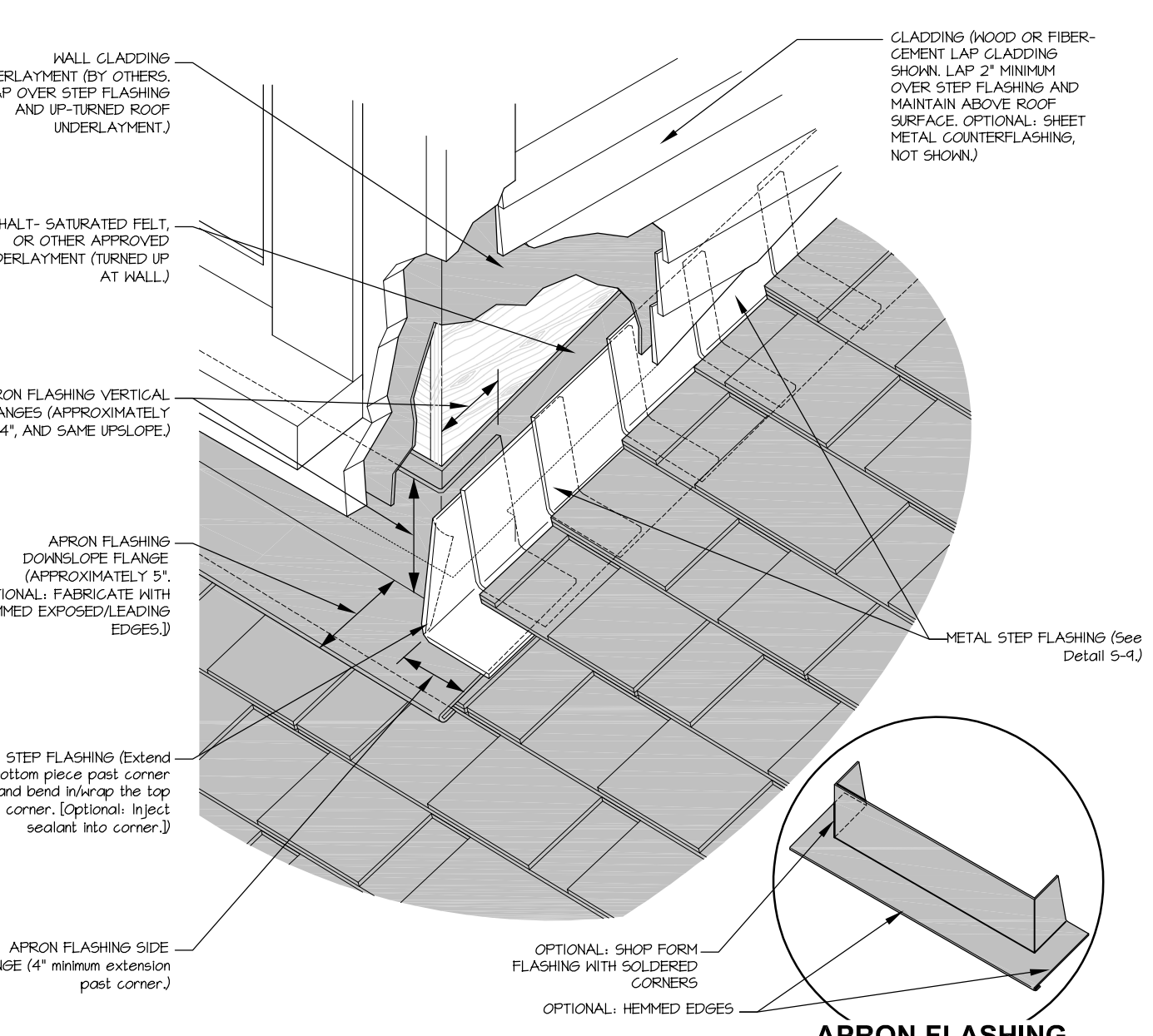
- NOTES:**
 1. IN COLD CLIMATES, WHERE SNOW AND ICE ARE COMMON, AN ICE & WATER PROTECTOR MEMBRANE IS RECOMMENDED AS AN ICE-DAM PROTECTION MEMBRANE AT ALL POTENTIAL ICE DAMMING LOCATIONS SUCH AS DOWNSLOPE EAVES, VALLEYS, CRACKETS, AROUND PENETRATIONS, AND RAKE EDGES. CONSULT LOCAL BUILDING CODE REQUIREMENTS.
 2. TO DETERMINE AERATION REQUIREMENTS AND/OR VENTILATION, INCLUDING VENT SIZES/NEEDS, REFER TO LOCAL BUILDING CODES.
 3. SHEET METAL VENTILATORS ARE SUGGESTED TO BE A MINIMUM OF 20-GAUGE PRE-FINISHED/PAINTED GALVANIZED STEEL, 16 OZ. COPPER, .032-INCH THICK PRE-FINISHED ALUMINUM, OR AN EQUIVALENT LONGEVITY NON-CORROSIIVE METAL, SUITABLE FOR WEATHERTIGHT, CONTROL OR SOLIDIFIED FABRICATION.
 4. IF EXPOSED FASTENERS ARE PLACED THROUGH THE RIDGE VENTILATOR'S DOWNSLOPE FLANGE, THEY SHOULD BE WEATHERTIGHT, GASKETED FASTENERS (E.G., RING-SHANK NAILS OR SCREWS).
 5. NOTE THAT THE ABOVE ILLUSTRATION OF A RIDGE VENT DEPICTS ONE TYPE OR STYLE OF SHINGLE-OVER RIDGE VENTILATOR, BUT THERE ARE NUMEROUS DIFFERENT TYPES AND PROFILES ON THE MARKET.
 6. DIMENSIONS SHOWN ARE RECOMMENDED MINIMUMS AND ARE INTENDED TO BE APPROXIMATE TO ALLOW FOR REASONABLE TOLERANCES DUE TO FIELD CONDITIONS.
 7. THE PROFILE OF SPECIFIC COMPONENTS, THEIR CONFIGURATION OR SEQUENCING, CAN VARY WITH THE ROOF SYSTEM, WITH CLIMATIC DIFFERENCES, AND REGIONAL OR AREA PRACTICES.
 8. ILLUSTRATION OF COMPONENTS (E.G., HEAVY-PLATE STEEL RIDGE TIES), FASTENERS, FASTENER NUMBER, SPACING, ETC., IS A GENERIC EXAMPLE OF ONE OPTION TO ALLOW FOR ROOF VENTILATION AND NOT INTENDED TO DEPICT ANY PARTICULAR PRODUCT, ARCHITECTURE, NOR ENGINEERING. SEE LOCAL BUILDING CODE AND STRUCTURAL ENGINEER AS MAY BE REQUIRED.

8 VENTED RIDGE DETAIL (OPTIONAL)
 AD7 N.T.S.



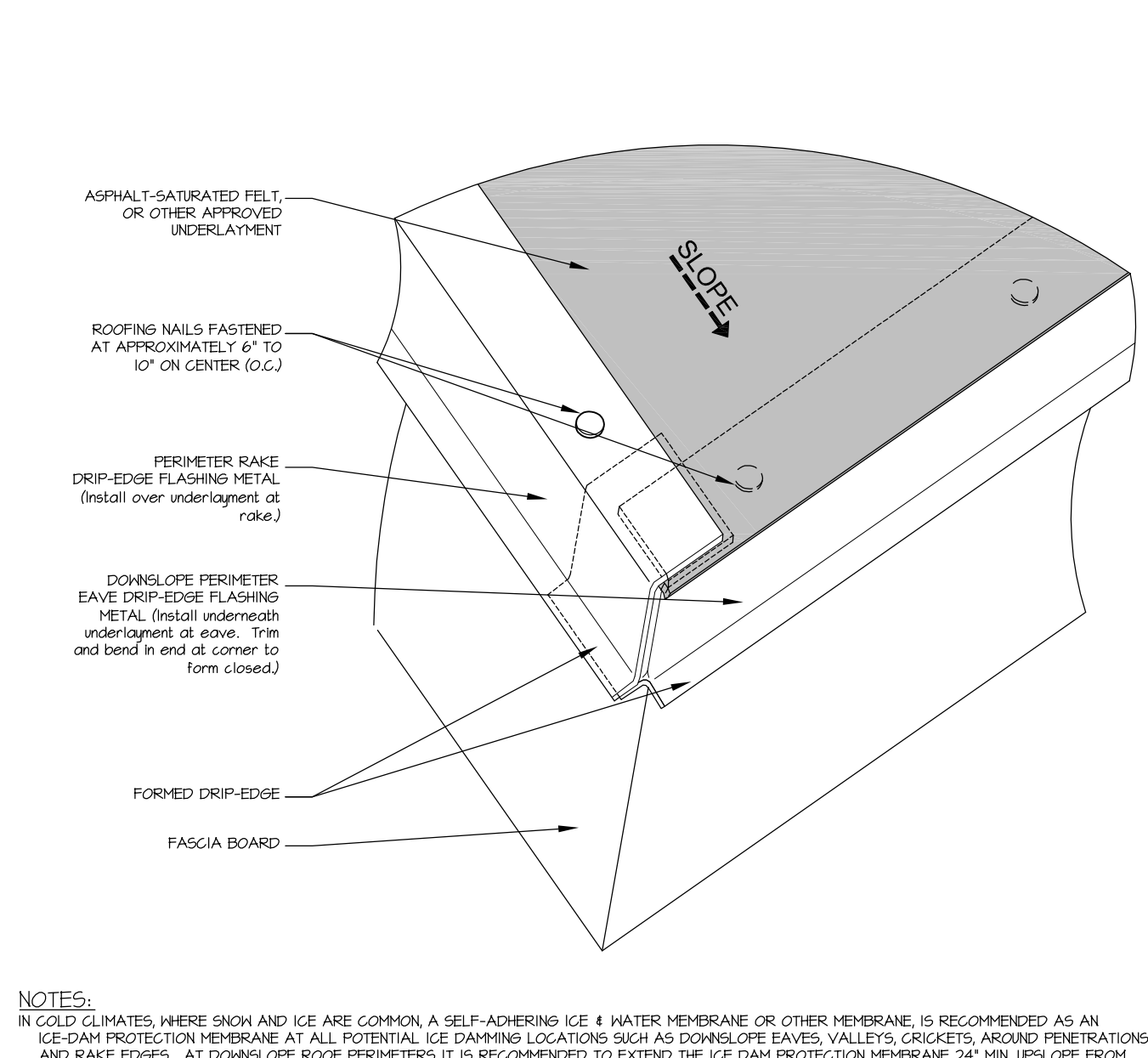
- EXAMPLE: INDIVIDUAL ROOF VENT (Tall profile.)**
- EXAMPLE: INDIVIDUAL ROOF VENT (Dormer.)**
- EXAMPLE: INDIVIDUAL ROOF VENT (Low profile.)**
- NOTES:**
 1. DETAIL DRAWN SHOWING MARATHON, ALSO APPLIES TO OTHER STYLES.
 2. IN COLD CLIMATES, WHERE SNOW AND ICE ARE COMMON, AN ICE & WATER PROTECTOR MEMBRANE IS RECOMMENDED AS AN ICE-DAM PROTECTION MEMBRANE AT ALL POTENTIAL ICE DAMMING LOCATIONS SUCH AS DOWNSLOPE EAVES, VALLEYS, CRACKETS, AROUND PENETRATIONS, AND RAKE EDGES. CONSULT LOCAL BUILDING CODE REQUIREMENTS.
 3. IN COLD CLIMATES, CONSIDER HIGH PROFILE ("SHAKE-TYPE") ROOF VENTS AS THEY ARE TALLER THAN REGULAR SHINGLE-TYPE ROOF VENTS AND PROVIDE BETTER PROTECTION IN AREAS OF SNOW AND ICE ACCUMULATION. IN ADDITION, THEY BETTER PROMOTE THE STACK-EFFECT TO FACILITATE VENTILATION.
 4. IF EXPOSED FASTENERS ARE PLACED THROUGH VENT'S DOWNSLOPE FLANGE, THEY SHOULD BE WEATHERTIGHT, GASKETED FASTENERS (E.G., RING-SHANK NAILS OR SCREWS).
 5. DIMENSIONS SHOWN ARE RECOMMENDED MINIMUMS AND ARE INTENDED TO BE APPROXIMATE TO ALLOW FOR REASONABLE TOLERANCES DUE TO FIELD CONDITIONS.
 6. THE PROFILE OF SPECIFIC COMPONENTS, THEIR CONFIGURATION OR SEQUENCING, CAN VARY WITH THE ROOF SYSTEM, WITH CLIMATIC DIFFERENCES, AND REGIONAL OR AREA PRACTICES.
 7. IT MAY BE THAT THE LAYOUT OF THE ROOF VENT PENETRATION OCCURS IN SUCH A WAY THAT AN ASPHALT SHINGLE BUTT-END JOINT, OR SHINGLE TAB CUTOUT, ALIGNS WITH THE EDGE AND/OR BACK OF THE METAL FLASHING'S FLANGE. IN THIS CASE, I/O RECOMMENDS INSTALLING A PRESSURE-SENSITIVE SELF-ADHERED MODIFIED-ASPHALT MEMBRANE, OR OTHER MEMBRANE, TO STRIP-IN THE SIDES AND BACK OF THE METAL FLASHING FLANGE TO EFFECTIVELY EXTEND THESE FLASHINGS.

9 ROOF VENT DETAIL
 AD7 N.T.S.



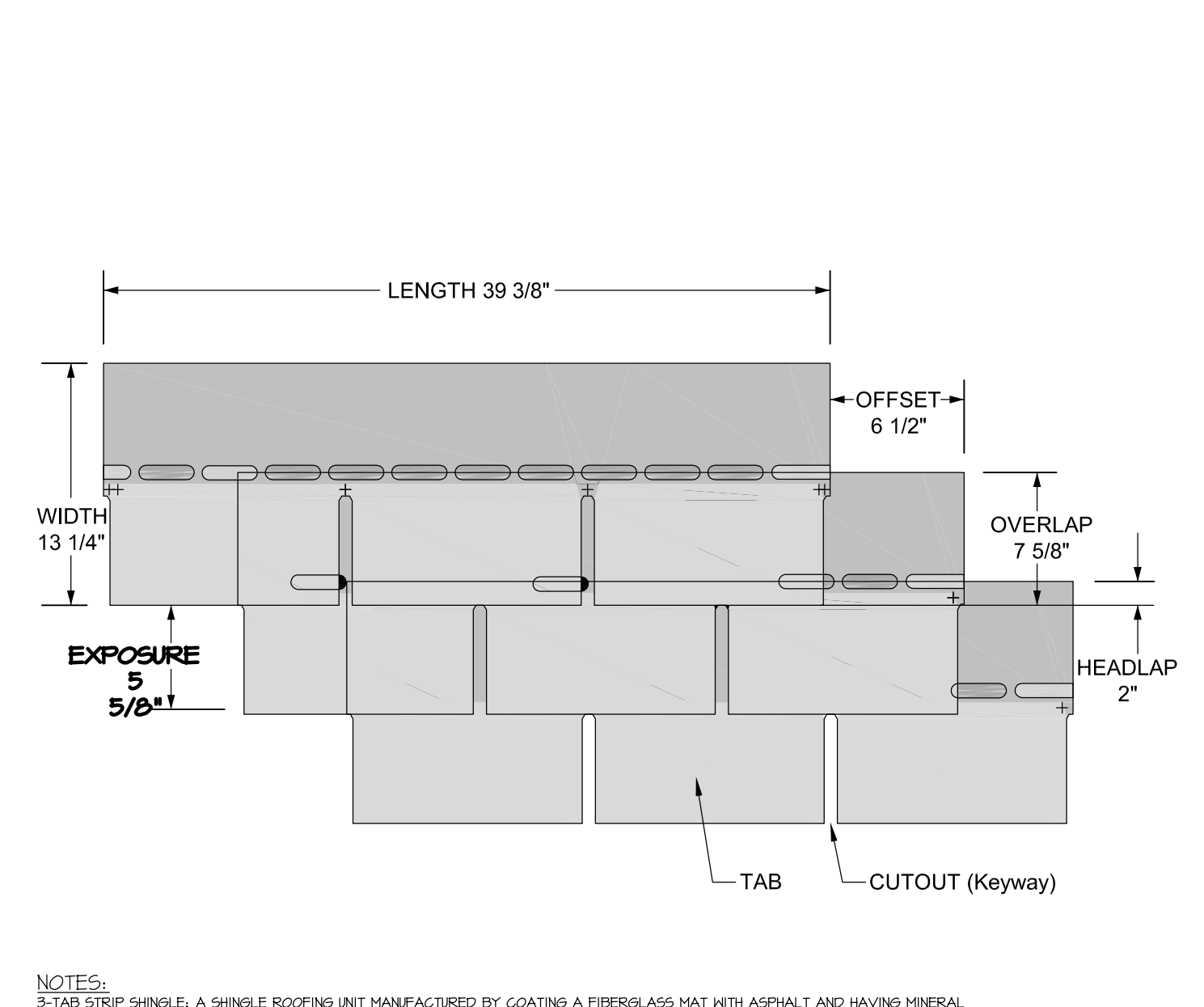
- NOTES:**
 1. DETAIL DRAWN SHOWING LAMINATED SHINGLE, ALSO APPLIES TO OTHER STYLES.
 2. IN COLD CLIMATES, WHERE SNOW AND ICE ARE COMMON, AN ICE & WATER PROTECTOR MEMBRANE IS RECOMMENDED AS AN ICE-DAM PROTECTION MEMBRANE AT ALL POTENTIAL ICE DAMMING LOCATIONS SUCH AS DOWNSLOPE EAVES, VALLEYS, CRACKETS, AROUND PENETRATIONS, AND RAKE EDGES. CONSULT LOCAL BUILDING CODE REQUIREMENTS.
 3. SHEET METAL STEP AND APRON FLASHING ARE SUGGESTED TO BE A MINIMUM OF 20-GAUGE PRE-FINISHED/PAINTED GALVANIZED STEEL, 16 OZ. COPPER, .032-INCH THICK PRE-FINISHED ALUMINUM, OR AN EQUIVALENT LONGEVITY NON-CORROSIIVE METAL.
 4. VERTICAL FLANGE OF STEP FLASHING SHOULD BE LAPPED A MINIMUM OF 2". SHEET METAL COUNTERFLASHING MAY BE OPTIONAL, WHERE HALL GLADDING OR SIDING OVERLAPS STEP FLASHING.
 5. CONSIDER SPECIFYING THE EXTENSION OF ROOFING UNDERLAYMENT VERTICALLY UP THE HALL SO THAT IT IS OVERLAPPED BY THE HALL GLADDING UNDERLAYMENT.
 6. DIMENSIONS SHOWN ARE RECOMMENDED MINIMUMS AND ARE INTENDED TO BE APPROXIMATE TO ALLOW FOR REASONABLE TOLERANCES DUE TO FIELD CONDITIONS.
 7. THE PROFILE OF SPECIFIC COMPONENTS, THEIR CONFIGURATION OR SEQUENCING, CAN VARY WITH THE ROOF SYSTEM, WITH CLIMATIC DIFFERENCES, AND REGIONAL OR AREA PRACTICES.

4 HEADWALL FLASHING DETAIL
 AD7 N.T.S.



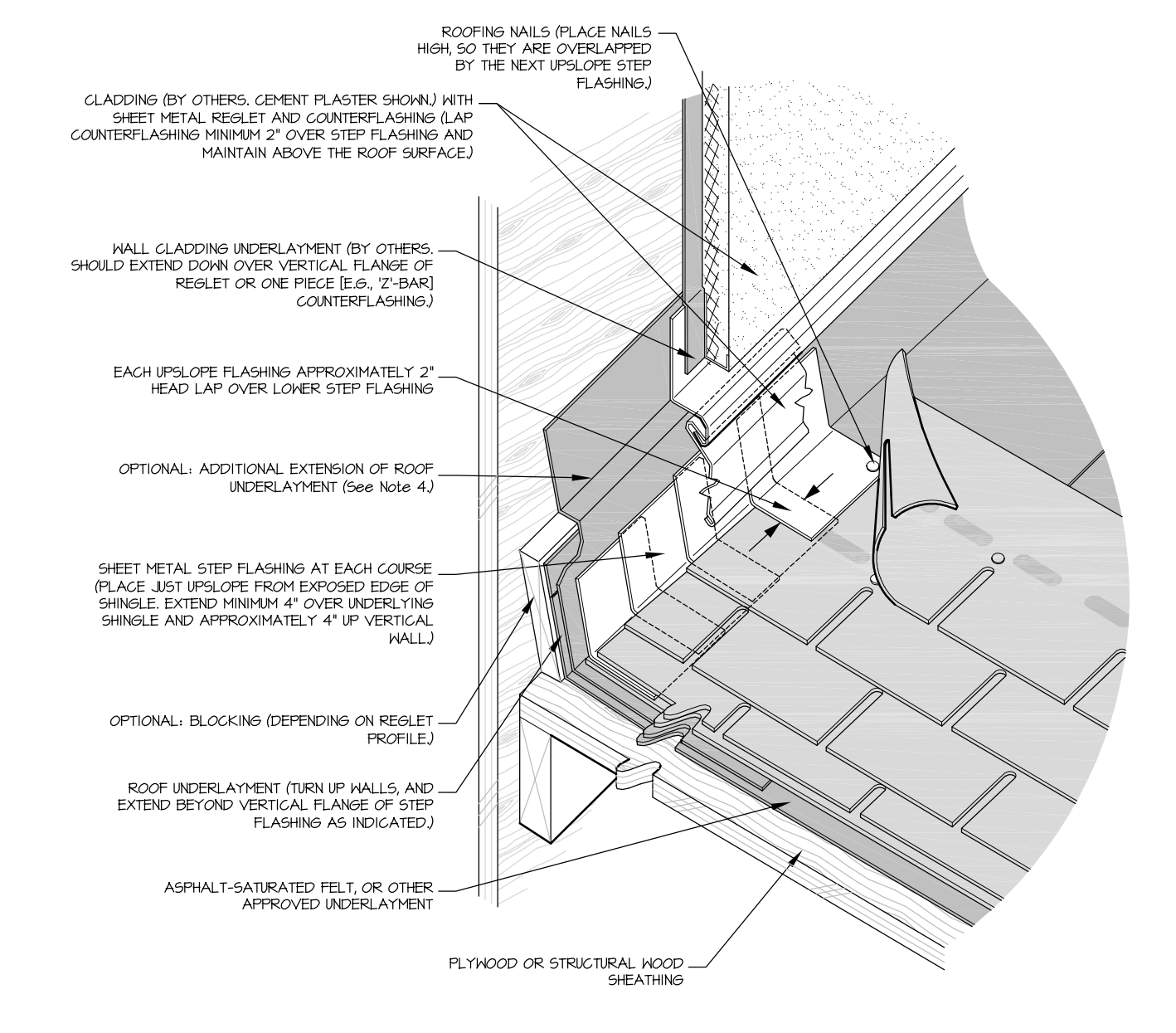
- NOTES:**
 1. IN COLD CLIMATES, WHERE SNOW AND ICE ARE COMMON, A SELF-ADHERING ICE & WATER MEMBRANE OR OTHER MEMBRANE IS RECOMMENDED AS AN ICE-DAM PROTECTION MEMBRANE AT ALL POTENTIAL ICE DAMMING LOCATIONS SUCH AS DOWNSLOPE EAVES, VALLEYS, CRACKETS, AROUND PENETRATIONS, AND RAKE EDGES. AT DOWNSLOPE ROOF PERIMETERS IT IS RECOMMENDED TO EXTEND THE ICE DAM PROTECTION MEMBRANE 24" MIN. UPSLOPE FROM EXTERIOR WALL. CONSULT LOCAL BUILDING CODE REQUIREMENTS.
 2. THE PERIMETER OF THE ROOF DECK SHOULD PROVIDE A CONTINUOUS SOLID WOOD NAILING SURFACE OVER WHICH TO APPLY THE SHEET METAL DRIP-EDGE FLASHING.
 3. THE VERTICAL-FACE FLANGE OF SHEET METAL DRIP-EDGE FLASHING SHOULD BE OF SUFFICIENT LENGTH TO PERMIT WATER TO DRIP OFF THE ROOF WITHOUT AFFECTING THE UNDERLYING CONSTRUCTION DURING TIMES OF NO WIND.
 4. THE HORIZONTAL FLANGE (I.E., ROOF SIDE) OF SHEET METAL DRIP-EDGE FLASHING SHOULD EXTEND APPROXIMATELY 2" TO 3" MINIMUM ONTO THE ROOF.
 5. IN COLD CLIMATES, CONSIDER INSTALLATION OF AN ISOLATOR SHEET (E.G., A STRIP OF ASPHALT-SATURATED FELT) BETWEEN THE WOOD ROOF DECK AND SHEET METAL FLASHING FLANGES TO MINIMIZE POTENTIAL FOR CONDENSATION AND RESULTING DECAY.
 6. DIMENSIONS SHOWN ARE RECOMMENDED MINIMUMS AND ARE INTENDED TO BE APPROXIMATE TO ALLOW FOR REASONABLE TOLERANCES DUE TO FIELD CONDITIONS.
 7. THE PROFILE OF SPECIFIC COMPONENTS, THEIR CONFIGURATION OR SEQUENCING, CAN VARY WITH THE ROOF SYSTEM, WITH CLIMATIC DIFFERENCES, AND REGIONAL OR AREA PRACTICES.

3 DRIP EDGE DETAIL
 AD7 N.T.S.



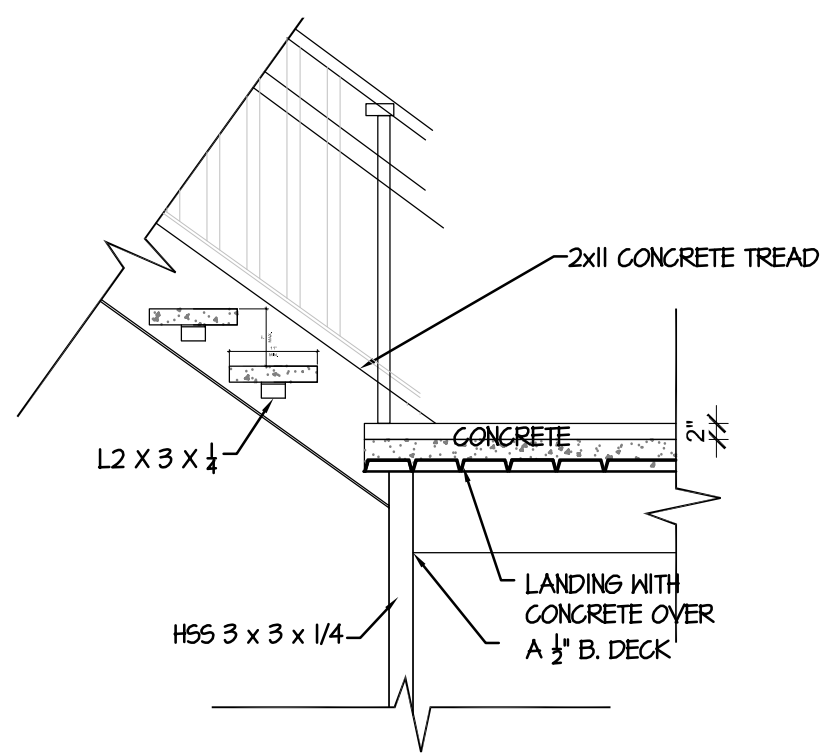
- NOTES:**
 3-TAB STRIP SHINGLE: A SHINGLE ROOFING UNIT MANUFACTURED BY COATING A FIBERGLASS MAT WITH ASPHALT AND HAVING MINERAL GRANULES, OR OTHER WEATHER-PROTECTIVE SURFACING, EMBEDDED INTO THE ASPHALT ON THE SIDE EXPOSED TO THE WEATHER. CUTOUT: THE OPEN PORTIONS OF A STRIP SHINGLE BETWEEN THE TABS, SOMETIMES REFERRED TO AS A KEYWAY OR SLOT. EXPOSURE: THE DIMENSION OF ROOFING THAT IS NOT COVERED OR OVERLAPPED BY THE UPSLOPE COURSE OR COMPONENT. THE EXPOSURE OF MARATHON SHINGLES IS 5 5/8". HEADLAP: THE DISTANCE OF OVERLAP MEASURED FROM THE UPPERMOST PLY OR COURSE TO THE POINT WHERE IT LAPS OVER THE UNDERMOST PLY OR COURSE. THE HEADLAP FOR MARATHON SHINGLES IS 2". OFFSET: THE DIMENSION THAT SETS-OFF OR STAGGERS THE BUTT END OF ONE MARATHON SHINGLE FROM THE NEXT UPSLOPE OR DOWNSLOPE COURSE. A TYPICAL OFFSET FOR MARATHON SHINGLES IS 6 1/2", ALTHOUGH OTHER OFFSETS ARE POSSIBLE, AT NO PLACE ON THE ROOF SHOULD THE BUTT JOINTS WITHIN ONE COURSE OF SHINGLES BE CLOSER THAN 4" TO THE BUTT JOINTS IN AN ADJACENT COURSE. OVERLAP: THE DIMENSION THAT A SHINGLE IS COVERED, OR LAPPED, BY THE NEXT UPSLOPE COURSE. TAB: THE EXPOSED PORTION OF STRIP SHINGLES THAT IS SEPARATED OR DEFINED BY CUTOUTS.

2 STANDARD 3-TAB SHINGLE DETAIL
 AD7 N.T.S.

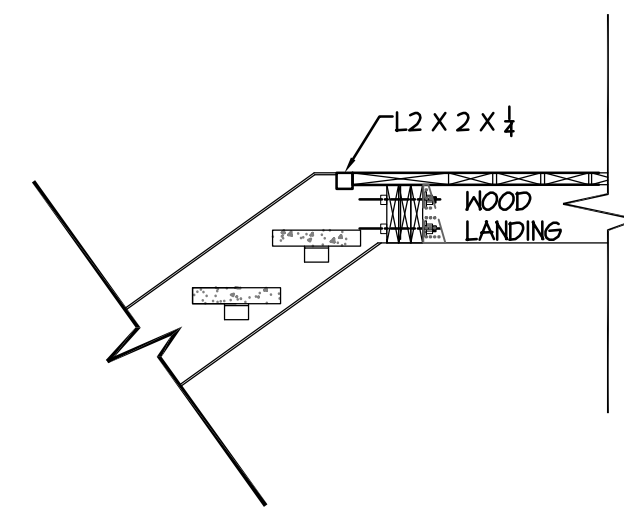


- NOTES:**
 1. DETAIL DRAWN SHOWING MARATHON, ALSO APPLIES TO OTHER STYLES.
 2. IN COLD CLIMATES, WHERE SNOW AND ICE ARE COMMON, AN ICE & WATER PROTECTOR MEMBRANE IS RECOMMENDED AS AN ICE-DAM PROTECTION MEMBRANE AT ALL POTENTIAL ICE DAMMING LOCATIONS SUCH AS DOWNSLOPE EAVES, VALLEYS, CRACKETS, AROUND PENETRATIONS, AND RAKE EDGES. CONSULT LOCAL BUILDING CODE REQUIREMENTS.
 3. SHEET METAL STEP FLASHING IS SUGGESTED TO BE A MINIMUM OF 20-GAUGE PRE-FINISHED/PAINTED GALVANIZED STEEL, 16 OZ. COPPER, .032-INCH THICK PRE-FINISHED ALUMINUM, OR AN EQUIVALENT LONGEVITY NON-CORROSIIVE METAL.
 4. VERTICAL FLANGE OF STEP FLASHING SHOULD BE LAPPED A MINIMUM OF 2". SHEET METAL COUNTERFLASHING MAY BE OPTIONAL, WHERE HALL GLADDING OR SIDING OVERLAPS STEP FLASHING.
 5. CONSIDER SPECIFYING THE EXTENSION OF ROOFING UNDERLAYMENT VERTICALLY UP THE HALL SO THAT IT IS OVERLAPPED BY THE HALL GLADDING UNDERLAYMENT.
 6. DIMENSIONS SHOWN ARE RECOMMENDED MINIMUMS AND ARE INTENDED TO BE APPROXIMATE TO ALLOW FOR REASONABLE TOLERANCES DUE TO FIELD CONDITIONS.
 7. THE PROFILE OF SPECIFIC COMPONENTS, THEIR CONFIGURATION OR SEQUENCING, CAN VARY WITH THE ROOF SYSTEM, WITH CLIMATIC DIFFERENCES, AND REGIONAL OR AREA PRACTICES.

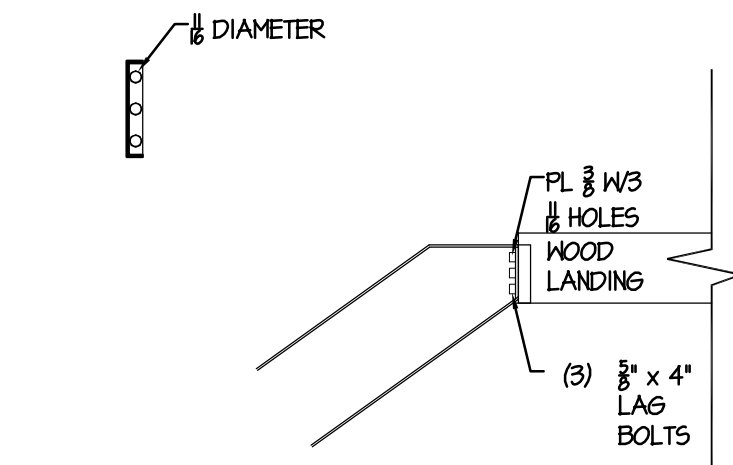
1 STEP FLASHING DETAIL
 AD7 N.T.S.



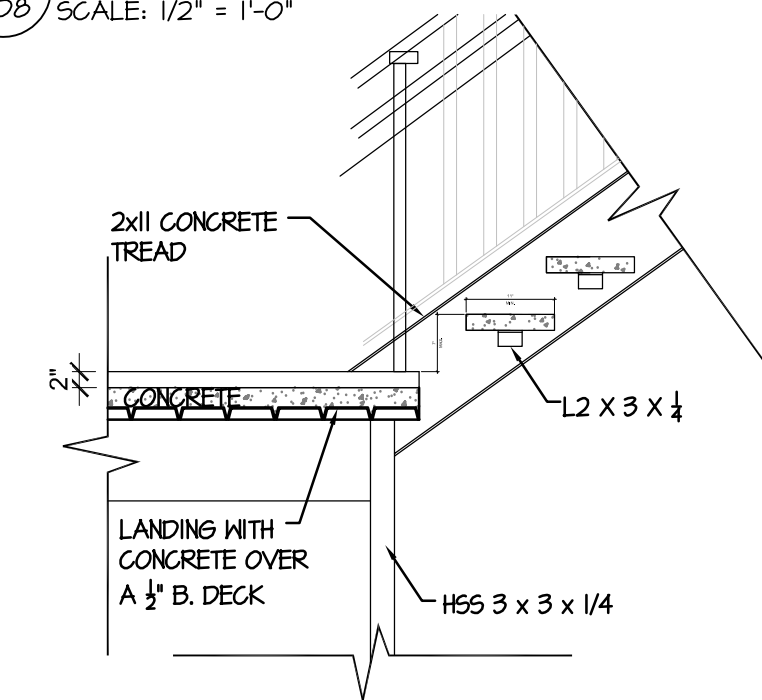
2 COLUMN BASE PLATE
ADB / SCALE: 1/2" = 1'-0"



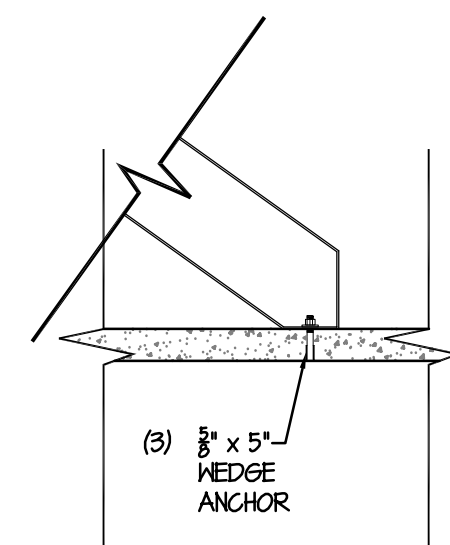
3 UPPER STRINGER TO WOOD LANDING
ADB / SCALE: 1/2" = 1'-0"



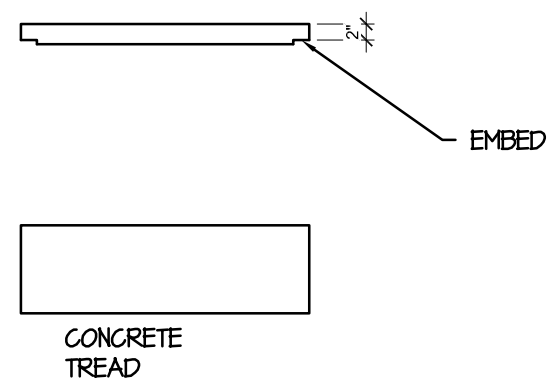
4 UPPER STRINGER CONNECTION
ADB / SCALE: 1/2" = 1'-0"



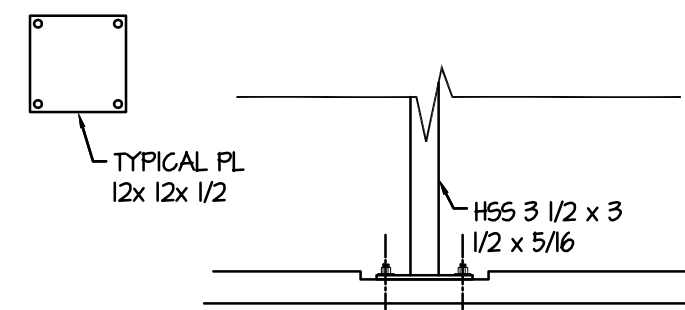
5 INTERMEDIATE LANDING LOWER STRINGER
ADB / SCALE: 1/2" = 1'-0"



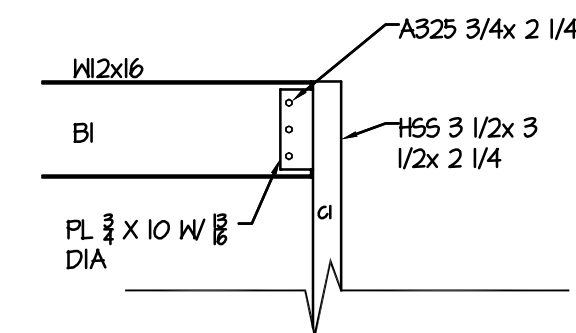
6 LOWER STRINGER MOUNTING
ADB / SCALE: 1/2" = 1'-0"



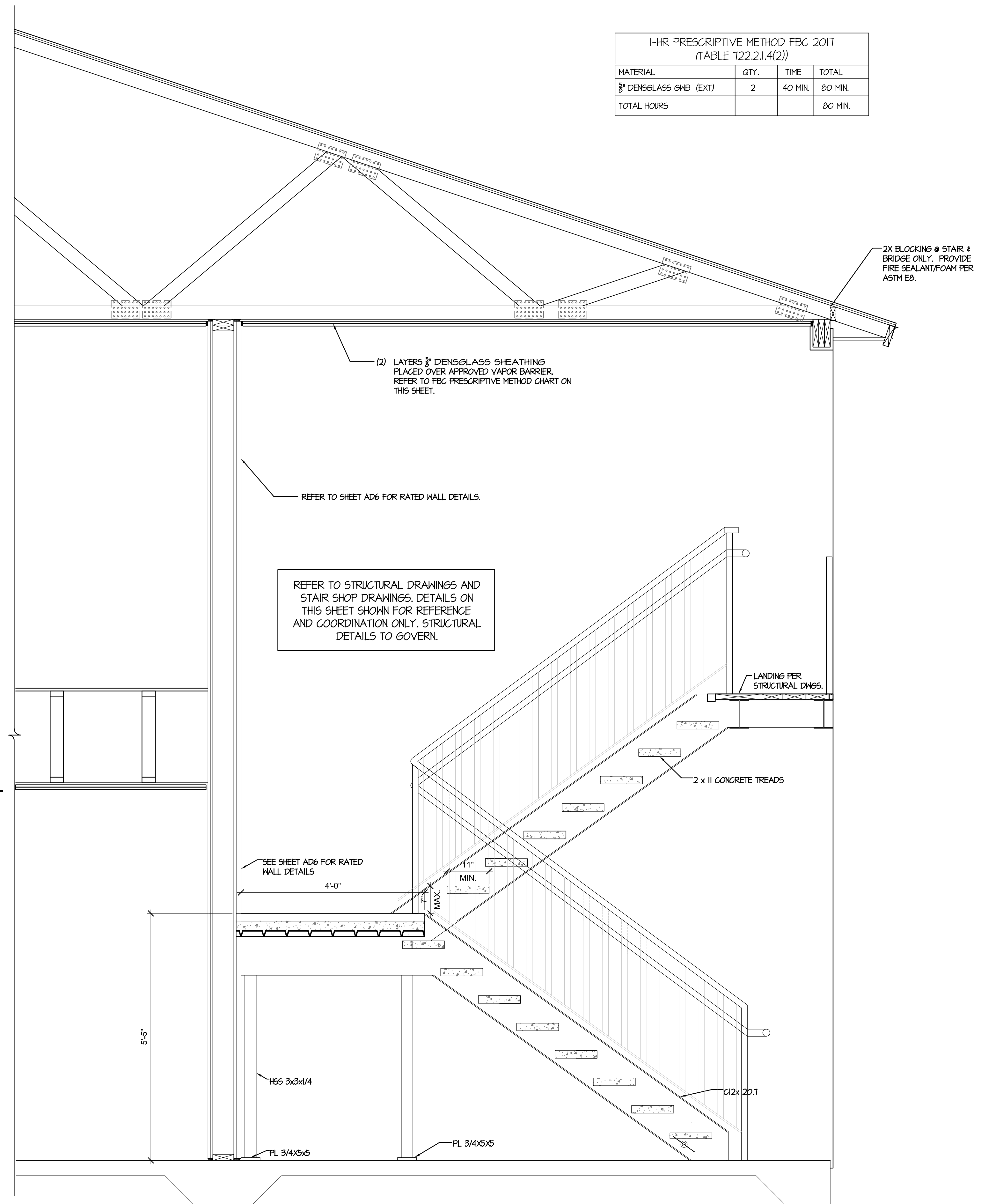
7 CONCRETE TREAD
ADB / SCALE: 1/2" = 1'-0"



8 RECESS FOR BASE PLATE
ADB / SCALE: 1/2" = 1'-0"



9 COLUMN AT CROSSWALK
ADB / SCALE: 1/2" = 1'-0"



1 SECTION @ STAIR & BRIDGE
ADB / SCALE: 3/4" = 1'-0"

I-HR PRESCRIPTIVE METHOD FBC 2017
(TABLE 122.2.1.4(2))

MATERIAL	QTY.	TIME	TOTAL
3/8" DENSGLOSS GMB (EXT)	2	40 MIN.	80 MIN.
TOTAL HOURS			80 MIN.



JAA ARCHITECTURE INC.
2716 ST. JOHNS AVE.
JACKSONVILLE, FL 32205
P: (904) 379-5108
E: JOHN@JAAARCHITECTURE.COM
LIC. AR92748

THIS DOCUMENT, ALONG WITH ASSOCIATED DOCUMENTS, IS AN INSTRUMENT OF DESIGNER'S SERVICE FOR THE EXCLUSIVE USE AT THE PROJECT TITLED HEREIN. INFORMATION DERIVED FROM THIS DOCUMENT, AND/OR ASSOCIATED DOCUMENTS, MAY NOT BE USED FOR OTHER WORKS OR PROJECTS WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633, FLORIDA STATUTES. TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION, 2020 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

"NEW CONSTRUCTION"
ELEVATION "A" & LEFT RISER ROOM
38x58 QUAD
9612 HOOD ROAD - LOT #1
JACKSONVILLE FLORIDA

THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 05.18.2022. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. AHJ APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE 'APPROVED' SEAL FROM THE AHJ.

REVISIONS

#	DATE	DESCRIPTION
1	4.8.2022	REVIEW COMMENTS
2		
3		
4		
5		
6		
7		



DATE: 07.20.2021
PROJECT # 19-123.04

AD8
PERMIT SET