

ABBREVIATIONS

Periods only used on one word abbreviations, if the abbreviation is a different word by itself, e.g. ARCH, D.T., and LAM. Periods are usually used when abbreviating multiple words, unless they are very common without periods; e.g. AFF, HVAC, R/A, and WMM.

A	A.B. ANCHOR BOLT ABV ABOVE A/C AIR CONDITIONING ACC ACCESS AC.T. ACOUSTICAL TILE (C.O.) AFF ABOVE FINISH FLOOR A.D. AREA DRAIN ADD ADDENDUM ADH ADHESIVE ADJ ADJUSTABLE AGG AGGREGATE A.H.U. AIR HANDLING UNIT ALT ALTERNATE ALUM ALUMINUM A.P. ACCESS PANEL APX APPROXIMATE ARCH. ARCHITECTURAL ASPH ASPHALT A.T. ASPHALT TILE AUTO. AUTOMATIC AVG AVERAGE AWNG AWNING	B	B36 36" WIDE BASE CAB. BD BOARD BF BI-FOLD (DOOR) BT. BUTTWELD BLKG BLOCKING BLDG BUILDING BLK BLOCK (C.M.U.) BLKG BLOCKING BM BEAM B.M. BENCH MARK BP BI-PASS (DOOR) BRG BEARING BRK BRICK B.S. BOTH SIDES BSMT BASEMENT BTM OR BOT BOTTOM BTWN BETWEEN BVL BEVELED B.W. BOTH WAYS	C	CAB CABINET C.B. COUNTER BASIN CEM CEMENT CER CERAMIC CF CUBIC FOOT CHAM CHAMFER CI CAST IRON C.I.P. CONC. CAST-IN-PLACE CONC. CIR CIRCLE CIRC CIRCUMFERENCE C.J. CONTROL JOINT OR CONSTRUCTION JOINT CK CAULKING (CAULKING) CL CLOSET OR CENTER LINE CLG CEILING CLG CLEARANCE CLS CLOSURE OR CLOSER (DOOR) CM CENTIMETERS CMU CONCRETE MASONRY UNIT C.O. CASD OPENING COL COLUMN COMB COMBINATION CONC CONCRETE COND (A/C) CONDENSER CONST CONSTRUCTION CONT CONTINUOUS CONTR CONTRACTOR CORR CORRUGATED CPR COPPER C OR CPT CARPET CRS COURSE(S) CSMT CASEMENT C.S.T. CAST STONE C.T. CERAMIC TILE CTR CENTER OR COUNTER CX CONNECTION CY CUBIC YARD	D	12"D 12" DEEP DRY DRYER, OR DRAIN DBL DOUBLE DECO DECORATIVE DEM DEMOLISH, DEMOLITION DEP DEPRESSION DET DETAIL D.F. DRINKING FOUNTAIN DH DOUBLE HUNG DIM DIAMETER DIM DIMENSION D.L. DEAD LOAD DN DOWN (STAIRS) D.P. DAMP-PROOFING DR DOOR DRY DRYER MACHINE DS DOWNSPOUT D/S DRAWER STACK (CABINET) D.T. DRAIN TILE DTL DETAIL DW DISH WASHER DWG DRAWING DWR DRAWER	E	EA EACH EB EYEBROW (FLAT ARCH) EF EACH FACE E.J. EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL E.P. ELECTRICAL PANEL EQ EQUAL EST ESTIMATE E.W.C. ELECTRIC WATER COOLER EXG EXISTING EXH EXHAUST EXT EXTERIOR	F	FAS FASTENER F.B. FACE BRICK F.B.O. FINISHED BY OTHERS F.D. FLOOR DRAIN F.E. FIRE EXTINGUISHER F.F. FINISH FLOOR (LINE) F.G. FIXED GLASS FGL FIBERGLASS FIN FINISH FLG FLASHING FLR FLOORING FLUR FLOURESCENT (LIGHT) FN FENCE FND FOUNDATION F.O. FACE OF FP FIRE PROOF FP FIRE PROOF HOSE BIBB FPHB FIRE PROOF HOSE BIBB FPL FIREPLATE FR FRAME(D)ING FS FULL SIZE FTG FOOTING FUR FURRED(ING)	G	GA GAUSE G.C. GIPSUM (WALL) BOARD G.C. GENERAL CONTRACTOR GD GRADE OR GRADING G.D.O. GARAGE DOOR OPENER GFI GROUND FAULT INTERRUPTER GL CLASS OF GLAZING GLBK GLASS BLOCK GL GALVANIZED IRON GT GROUT	H	42"H 42" HIGH (WALL) HB HOSE BIBB H.C. HOLLOW CORE HD HEAD OR HARD H.D. HEAT DETECTOR OR HEAVY DUTY HDR HEADER HWR HARDWARE HOT HOT H.M. HOLLOW METAL HORZ HORIZONTAL H.R. HALF ROUND (WINDOW) HS HORIZONTAL SLIDER HTG HEATING HVAC HEATING/VENTILATING/AIR COND. HWD HARDWOOD (FLOORS)	I	I.B. IRONING BOARD I.D. INSIDE DIAMETER I.L.O. IN LIEU OF I.M. INSULATED METAL INS OR INSUL INSULATED(TION) INT INTERIOR JST JOIST (FLOOR OR ROOF) JT JOINT	J	JD JOIST (FLOOR OR ROOF) JT JOINT	K	KD KNOCKDOWN (CEILING) KIT KITCHEN KO KNOCKOUT KPL KICKPLATE (ON DOOR) K/S KNEE SPACE	L	LAM. LAMINATE(D) LAV LAVATORY (SINK) L.B.O. LOCATION BY OTHERS LIV LIVING L.L. LIVE LOAD L.P. LAMINATED PLASTIC LPT LIGHT L.T. LAUNDRY TUB LTEL LINTEL LVL LAM VENER LUMBER (BEAMS) LVR LOUVER	M	M METER(S) MAX MAXIMUM MAS MASONRY MATL MATERIAL MC MEDICINE CABINET MECH MECHANICAL MFR. MANUFACTURER MH MANHOLE MIN MINIMUM MIR MIRROR MISC MISCELLANEOUS M.D. MOLDING MM MILLIMETER MEMBRANE M.O. MASONRY OPENING MOD MODULAR MRB MARBLE MTL METAL MOUNT(MOUNTING) MULL MULLION OR MULLED	N	N/A NOT APPLICABLE N.I.C. NOT IN CONTRACT N.L. NOT LISTED N.M. NOMINAL N.S. NOT TO SCALE N.G.V.D. NAT. GEODETIC VERTICAL DATUM	O	OA OVERALL OBS OBLSCURE (GLASS) O.C. ON CENTER O.CAB. OVERHEAD CABINET O.D. OUTSIDE DIAMETER O.G.D. OVERHEAD GARAGE DOOR OH OVERHEAD OPNG OPENING OPT OPTIONAL OSB ORIENTED STRAND BOARD	P	PAR PARALLEL P.B.D. PARTICLE BOARD PC CONC. PRECAST CONCRETE PE PORCELAIN ENAMEL PEF PERFORATED PERI PERIMETER PKG PARKING PL PLATE (HEIGHT) PLAM PLASTIC LAMINATE PLAS PLASTER PNL PANEL PNT PAINTED PR PAIR (OF) PREFAB PREFABRICATED PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PTD PARTING P.T. PRESSURE TREATED (WOOD) PV PAVE(D) OR PAVING PVC POLYVINYL CHLORIDE (PIPE) PMT PAVEMENT PMD PLYWOOD	Q	Q.T. QUARRY TILE	R	R RISER (ON STAIRS) R/A RETURN AIR R.B. RUBBER BASE RAD RADIUS RBL RUBBLE R.D. ROOF DRAIN REFR REFRIGERATOR REF REQUIRED RES RESILIENT REV REVISIONS, REVISED REIN REINFORCED(ING) RFG ROOFING R.F.B. REINFORCED JUNCTION BOX RLG RAILING RAM RANGE W/ MICROWAVE RM ROOM R.O. ROUGH OPENING R.O.W. RIGHT OF WAY RAS ROD AND SHELF(S)	S	SC SOLID CORE (DOOR) SCH SCHEDULE SDI SMOKE DETECTOR SEC SECTION SF SQUARE FEET SFG SQUARE FOOT PER SHELF(VING) S.G.D. SLIDING GLASS DOOR SH SINGLE HUNG OR SHELF(VING) SHT SHEATHING SMT SEALANT SPC SPACER SPEC SPECIFICATIONS SPK (AUDIO) SPEAKER(S) S.S.T. STAINLESS STEEL STD STANDARD STG OR STO STORAGE STL STEEL STR STRUCTURAL SQ SQUARE SUS SUSPENDED S.W. SHEAR WALL	T	T TREAD (AT STAIRS) OR TILE T.B. TOWER BAR T.B.D. TO BE DETERMINED T.C. TERRA COTTA T.C.J. TROWELED CONTROL JOINT TEMP TEMPERED (GLASS) TAG TONGUE & GROOVE TEL TELEPHONE THK THICKNESS THR THRESHOLD T.O.C. TOP OF CONCRETE T.O.F. TOP OF FOUNDATION T.O.M. TOP OF MASONRY T.O.W. TOP OF WINDOW TR OR TRN TRANSOM (WINDOW) TP TOILET PAPER HOLDER TV TELEVISION OUTLET OR LOCATION TYP TYPICAL UC UNDERCUT(DOOR) UNF UNFINISHED UNO. UNLESS NOTED OTHERWISE	U	UC UNDERCUT(DOOR) UNF UNFINISHED UNO. UNLESS NOTED OTHERWISE	V	VB VANITY BASE V.B. VAPOR BARRIER VB36 36" WIDE VANITY BASE VERT VERTICAL VN (SHEET) VINYL V.S. VEGETABLE SINK V.T. VINYL TILE	W	W3630 36" X 30" WALL CAB N.E.S. NOT TO SCALE W WIDE OR WASHING MACHINE WC WATER CLOSET WD WOOD WF WIDE FLANGE (STEEL BEAM) WH WATER HEATER W.H. WALL HUNG WI WROUGHT IRON WC WALK-IN CLOSET WN WINDOW W/O WITH OR WITHOUT WP WATERPROOF(ING) WR WATER RESISTANT W.S. WATER SOFTENER W.SCT WAINSCOT W.T.W. WALL TO WALL W.M. WELDED WIRE MESH
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GENERAL NOTES

- These documents are the property of the designer and shall not be copied, duplicated, altered, modified or revised in any way without the expressed written approval of the designer.
- To the best of the designers knowledge these construction documents are in conformance with the requirements of the building authorities having jurisdiction over this type of construction and occupancy.
- It is the intent of the designer to delineate these documents as accurate as possible for the purpose of graphic representation. Do not "scale" these documents. The dimensions shown are to take precedence over scaling the documents. The general contractor shall have full responsibility for any incorrect work and any repair of said work as a result of scaling the documents.
- All work performed by the general contractor shall comply and conform with local and state building codes, ordinances and regulations, along with all other authorities having jurisdiction. The general contractor is responsible to be aware of these requirements and governing regulations.
- The general contractor shall thoroughly review and become familiar with these documents. Upon review, the general contractor shall document and notify the designer of any errors, omissions, discrepancies and / or inconsistencies prior to the start of any portion of the proposed work. The designer shall review the proposed corrections after the receipt of notification. The discovery of discrepancies and / or conflicts after the start of work shall be the full responsibility of the general contractor to repair or replace.
- The general contractor shall be responsible for the correction of any errors, omissions, discrepancies and / or inconsistencies which have not been brought to the designers attention.
- The general contractor shall accept the premises as is, in its current state. The owner shall assume no responsibility for the condition of the existing site, and its contents, at the time of bidding or thereafter.
- The general contractor shall verify all existing site conditions, along with dimensions, prior to the start of any portion of the work. All findings, discrepancies and concerns shall be brought to the owners attention in written format.
- The general contractor shall be responsible for all work and materials represented on these documents including the work and materials furnished by subcontractors and vendors.
- Deviations from these documents in the construction phase shall be reviewed by the designer and the owner prior to the start of work in question. Any deviations from these documents without prior review, shall be the sole responsibility of the general contractor.
- It is the sole responsibility of the general contractor to determine erection procedure, means and methods and sequence of construction.
- The general contractor is responsible to produce and comply with an approved construction schedule acceptable to the owners expectations.
- The owner shall furnish any and all reports received from the geotechnical engineer (soil reports), on the study of the proposed site, to the designer, structural engineer and general contractor. In the event the geotechnical reports do not exist, the soil condition shall be assumed to be a minimum design soil pressure stated by the structural engineer of record for the purpose of structural design. General contractor shall assure the soil conditions meet or exceed this criteria.
- Shop drawing review and distribution, along with product submittals, requested in the construction documents, shall be the sole responsibility of the general contractor, unless directed otherwise under a separate agreement.
- The designer shall not accept, or review any request for shop drawing review and / or stamp without the review and stamp of the general contractor clearly shown on the documents.

PROJECT INFORMATION

Florida Residential Code 2023 - 8th Edition

PROJECT:	Project name may vary
LOCATION:	State of Florida
JURISDICTION:	See local county municipality for additional applicable code requirements
APPLICABLE CODES:	
BUILDING	2023 - 8th Edition - FL RESIDENTIAL CODE (BUILDING)
PLUMBING	2023 - 8th Edition - FL PLUMBING CODE (BUILDING)
MECHANICAL	2023 - 8th Edition - FL MECHANICAL CODE (BUILDING)
ELECTRICAL	2020 - NATIONAL ELECTRICAL CODE (NFPA 70)
PRODUCT:	SINGLE FAMILY RESIDENCE
OCCUPANCY CLASSIFICATION:	(FBC 310) RESIDENTIAL - R3
BASIC WIND SPEED: (PER R301.2(4))	(RBC)-130 MPH WIND SPEED
CONSTRUCTION TYPE:	(FBC) 602 - TYPE VB
ALLOWABLE HEIGHT	& BUILDING AREAS: (FBC Table 503) ALLOWED
HEIGHT: max. no. of feet	35 feet max.
max. no. of stories	3-story max.
AREA:	one story & multistory/floodUNLIMITED

DRAWING INDEX

SHEET DESCRIPTION	
ARCHITECTURAL	
A0.0	COVER SHEET
A1.1	INDEX, ABBREVIATIONS, GENERAL NOTES & SYMBOLS
A2.0	SLAB PERIMETER PLAN
A2.1	MAIN FLOOR PLAN
A3.1	ROOF PLAN
A4.1	ELEVATIONS
AD.1	TYPICAL WALL SECTIONS
AD.2	MISC. SECTIONS & DETAILS
AD.3	MISC. SECTIONS & DETAILS
AD.4	MISC. SECTIONS & DETAILS
E1.1	MAIN FLOOR ELECTRICAL PLAN

ISSUE DATE:	
REVISIONS:	

COMMUNITY:	
OWNERS:	

PLAN INFO:	1660
	" A "
	BASE PLAN
	2 CAR FRONT

SOUTHERN IMPRESSION HOMES
5711 Richard St., Suite 1
Jacksonville, FL 32216

PROJECT #	1660 Ft SF 1ST 480 2BA 2G
DRAWN:	EBG, JMD
PROJ. MGR:	EBG, JMD
CHECKED:	EBG, JMD
INDEX, ABBREVIATIONS, GENERAL NOTES & SYMBOLS	" A "
	1660
SHEET #	A1.1

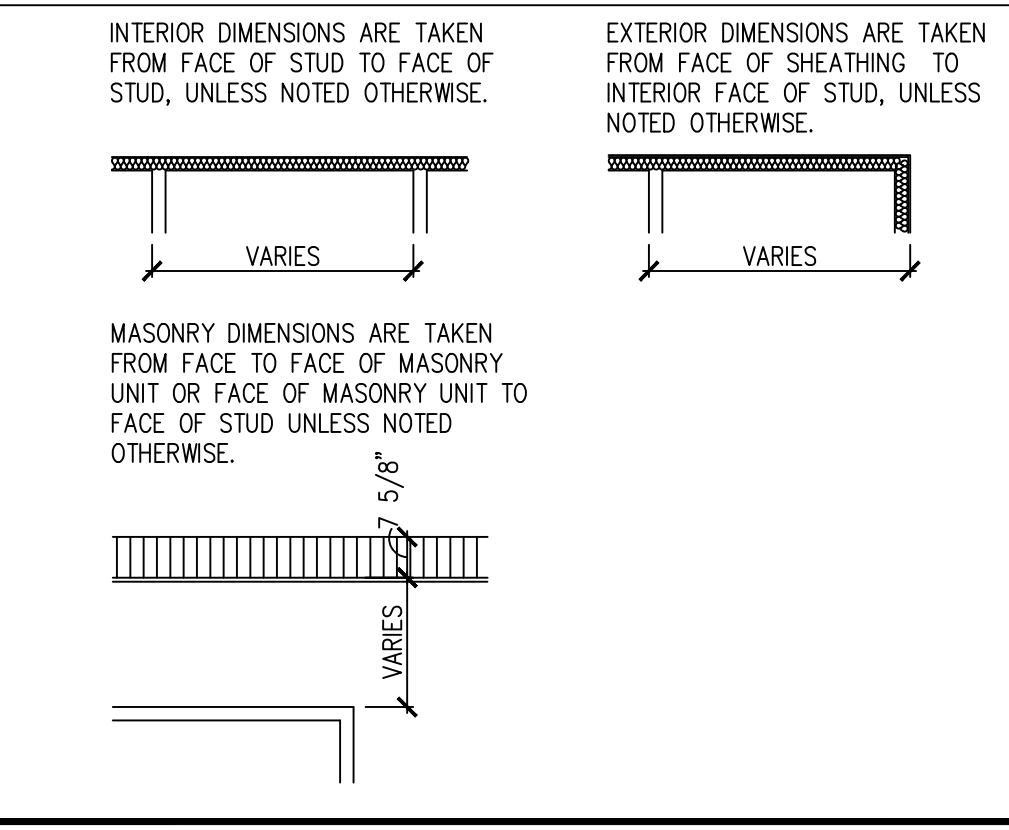
SYMBOLS

	ELEVATION KEY SHEET NUMBER		EARTH		PLYWOOD
	BUILDING SECTION KEY SHEET NUMBER		SAND OR GRAVEL FILL		BATT INSULATION
	DETAIL NUMBER SHEET NUMBER		WOOD STUD PARTITION		RIGID INSULATION
	ANGLE		3-2x4 WOOD POST OR 2-2x6 UNLESS OTHERWISE NOTED		WATER CLOSET
	CENTERLINE		CONCRETE		TUB/SHOWER
	HOSE BIBB (FREEZE PROOF)		STONE		LAVATORY
	GAS LINE STUB		STEEL		DOUBLE SINK
	PENNY		DIMENSIONAL LUMBER		SINGLE SINK
	PERPENDICULAR		BLOCKING		
	PLATE		FINISH GRADE WOOD		
	ROUND OR DIAMETER				

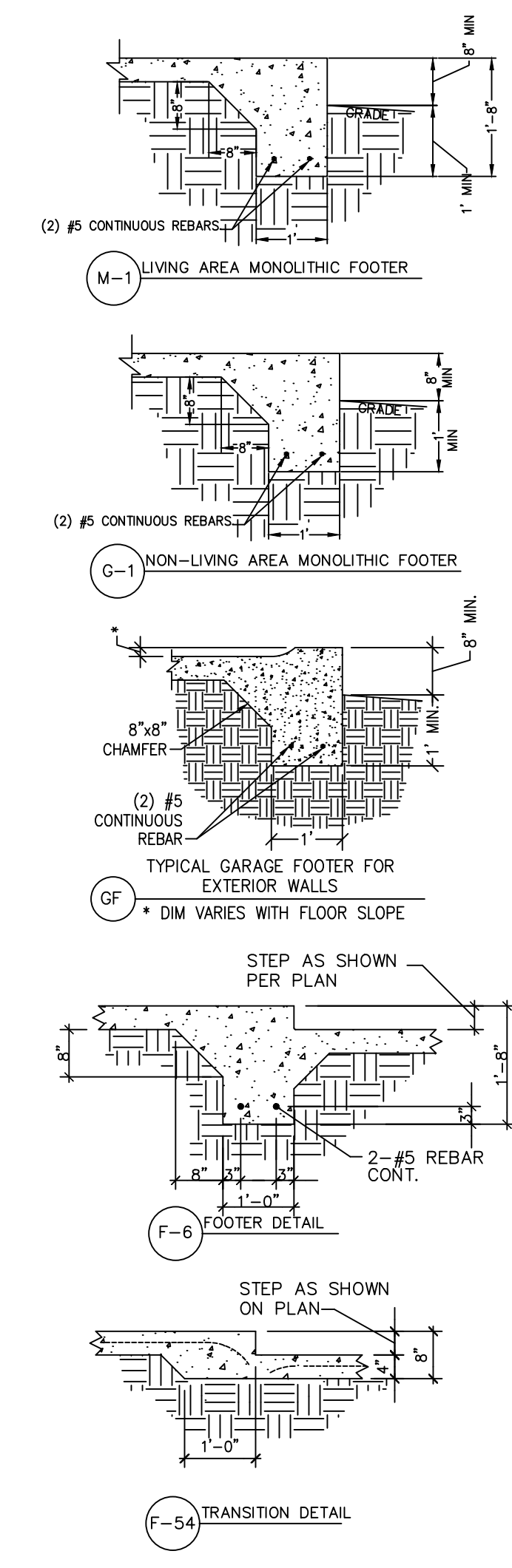
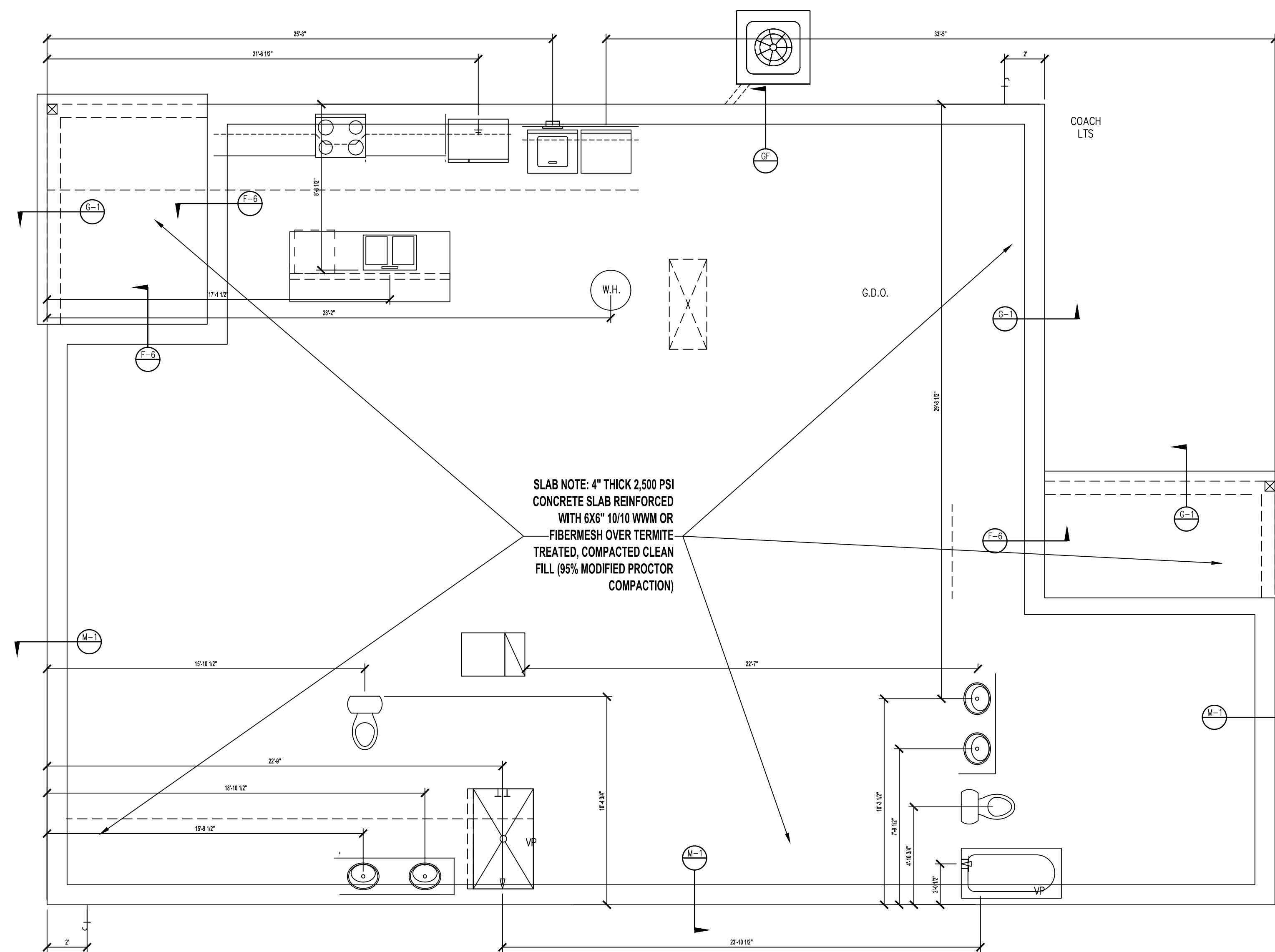
WALL LEGEND

	C.M.U. WALL W/ FURRING
	FRAME WALL
	INTERIOR PARTITION (SEE PLAN FOR SIZE AND LOCATIONS)
	INTERIOR PARTITION W/ INSULATION (SEE PLAN FOR SIZE AND LOCATIONS)

DIMENSION NOTE



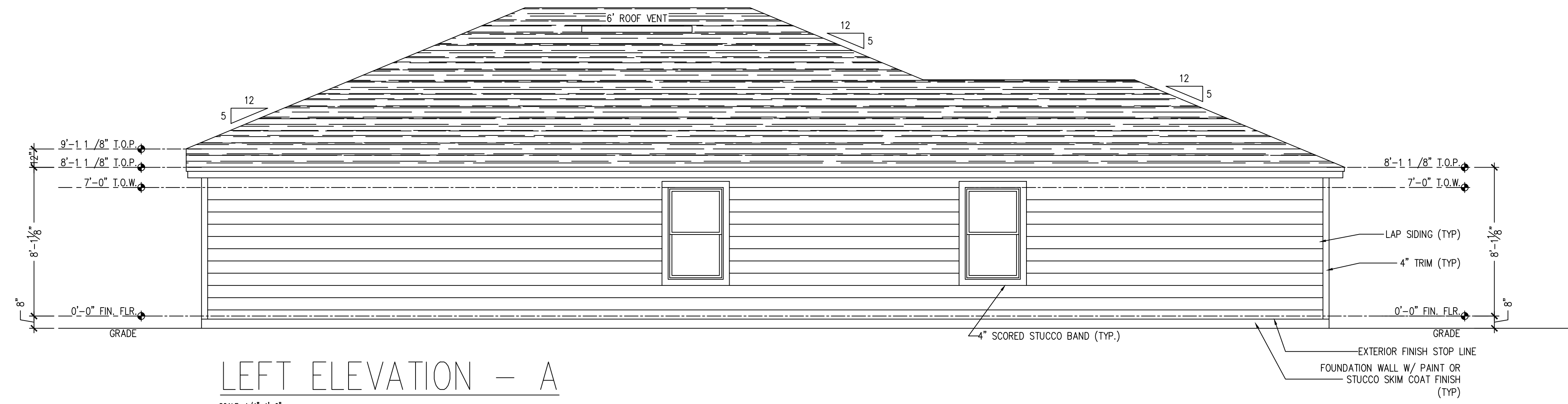
PROFESSIONAL STATEMENT:
TO THE BEST OF MY KNOWLEDGE SAID PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AS DETERMINED IN ACCORDANCE WITH ALL APPLICABLE CODES & STATE STATUTES.



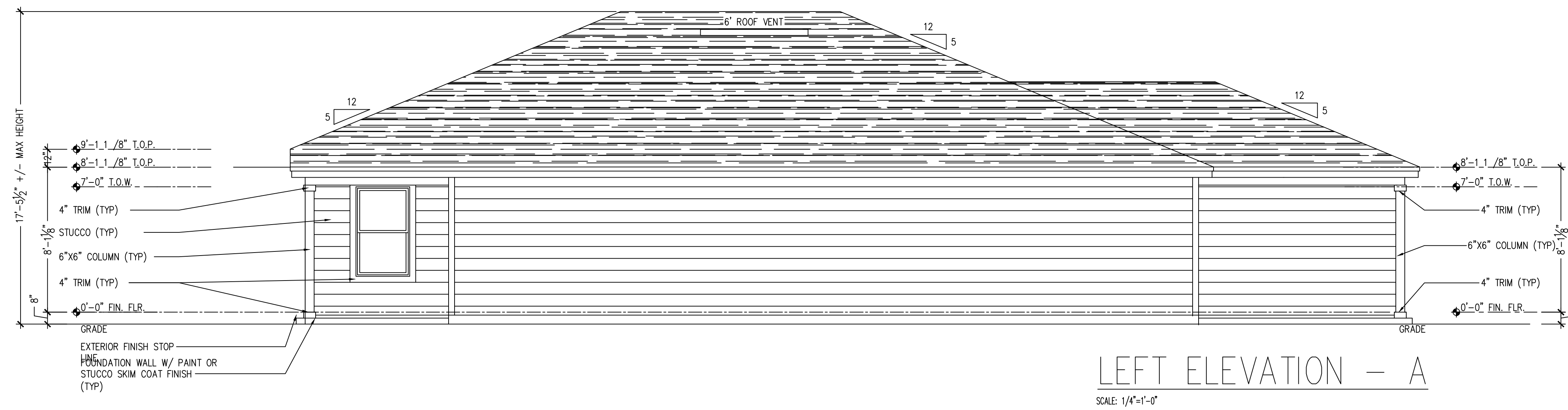
FOUNDATION PLAN - A
SCALE: 1/4"=1'-0"

1660
"A"
BASE PLAN
2 CAR FRONT

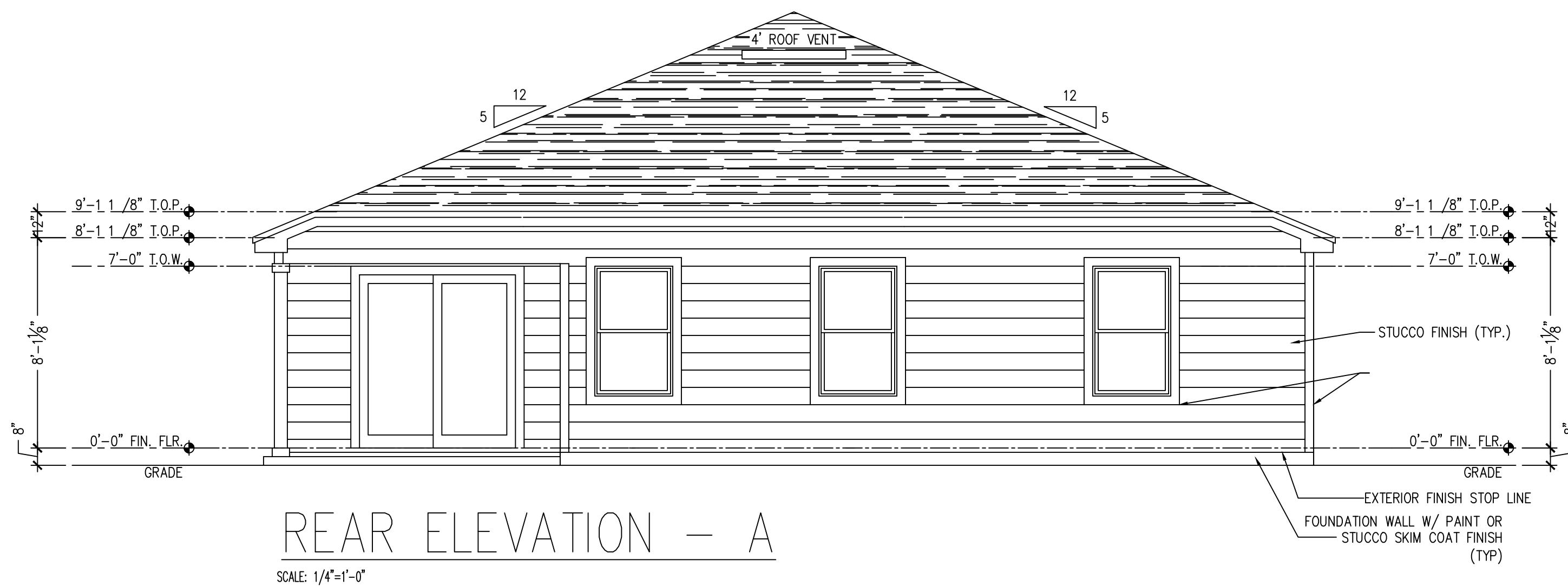
1660 F. SF 1ST 480 28A 2G
EBG, JMD
EBG, JMD
EBG, JMD
INDEX, ABBREVIATIONS,
GENERAL NOTES &
SYMBOLS
"A"
1660
A2.0



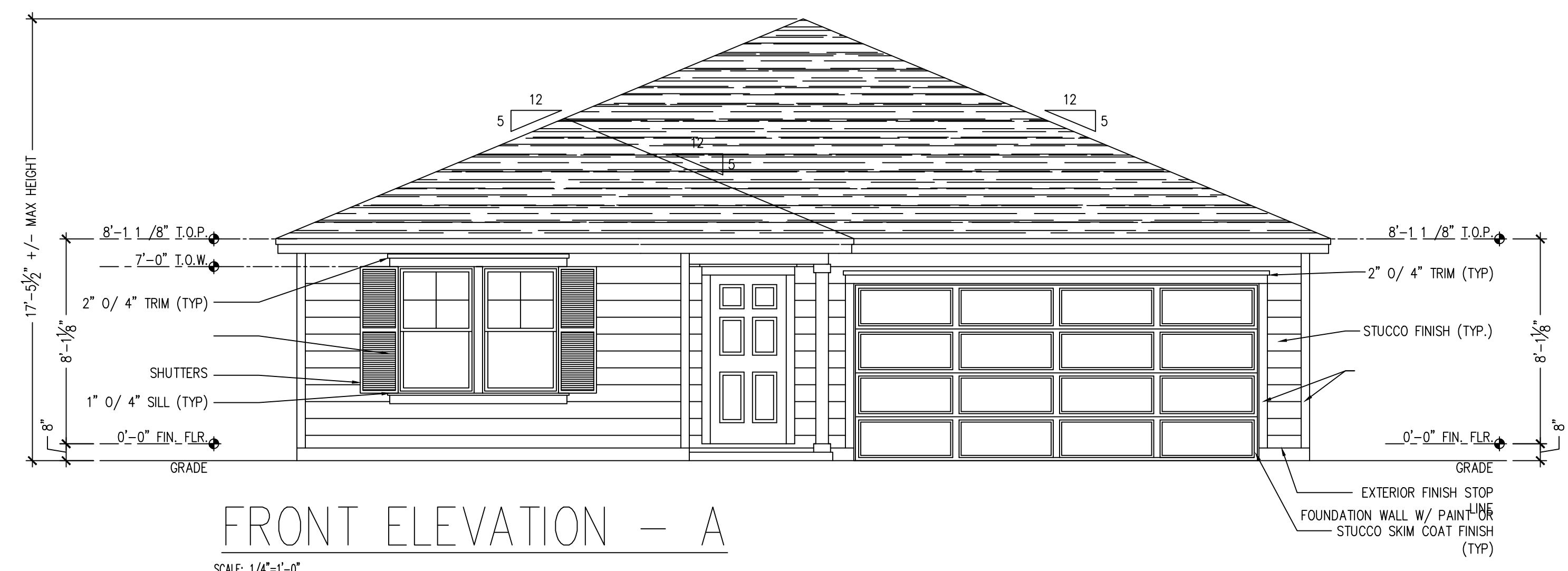
LEFT ELEVATION - A
SCALE: 1/4"=1'-0"



LEFT ELEVATION - A
SCALE: 1/4"=1'-0"



REAR ELEVATION - A
SCALE: 1/4"=1'-0"



FRONT ELEVATION - A
SCALE: 1/4"=1'-0"

ISSUE DATE:	
REVISIONS	

COMMUNITY:

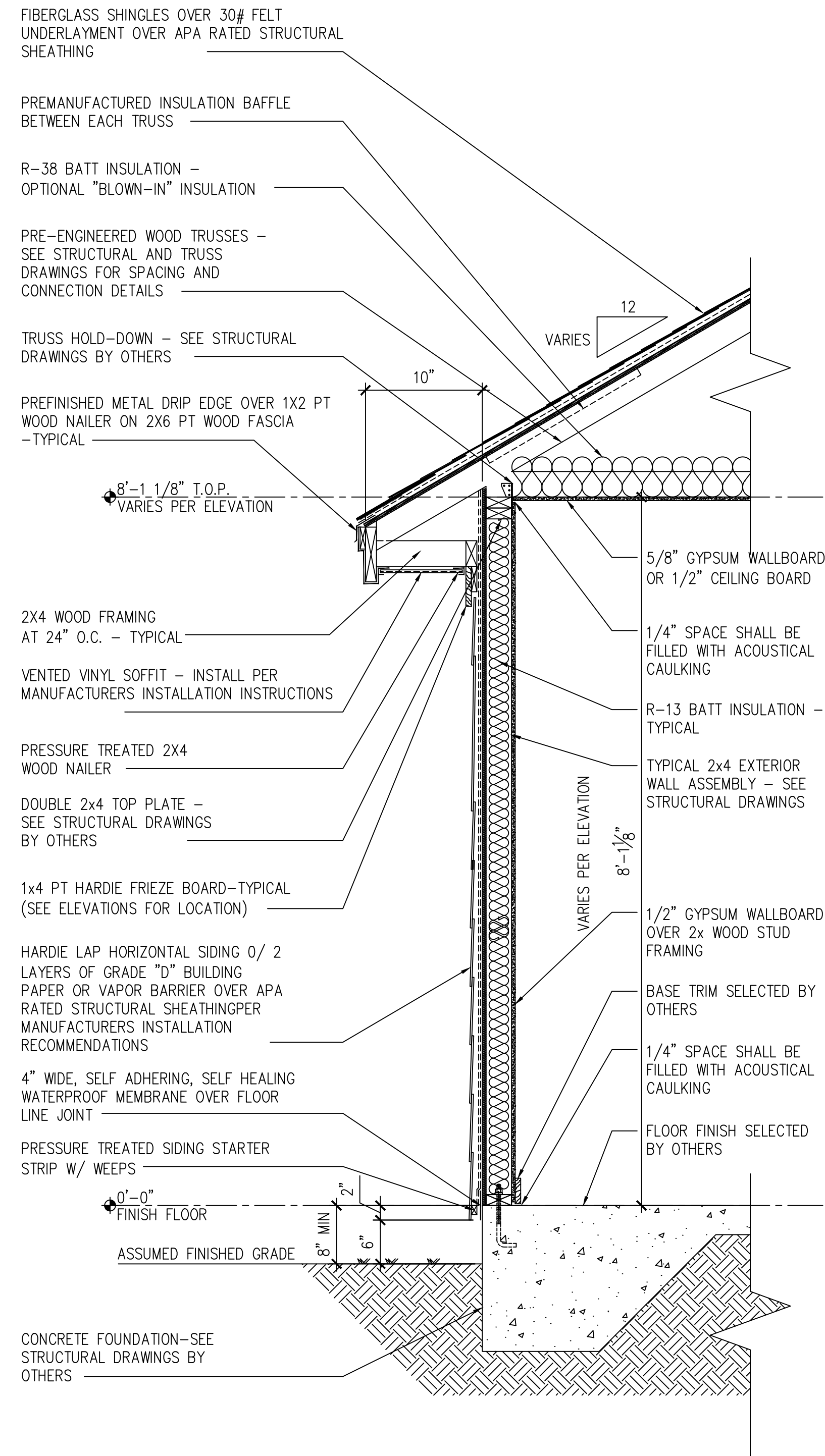
OWNERS:

PLAN INFO:

1660
"A"
BASE PLAN
2 CAR FRONT

**SOUTHERN
IMPRESSION
HOMES**
5711 Richard St., Suite 1
Jacksonville, FL 32216

PROJECT # 1660 FJ 5F 1ST 480 28A 26
DRAWN: EBG, MGD
PROJ MGR: EBG, MGD
CHECKED: EBG, MGD
INDEX, ABBREVIATIONS, GARAGE RIGHT
GENERAL NOTES & SYMBOLS "A"
1660
SHEET # A4.1



HARDIE LAP SIDING
1 ONE STORY WALL FRAME
 SCALE: 3/4"=1'-0"

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ISSUE DATE:	
REVISIONS	

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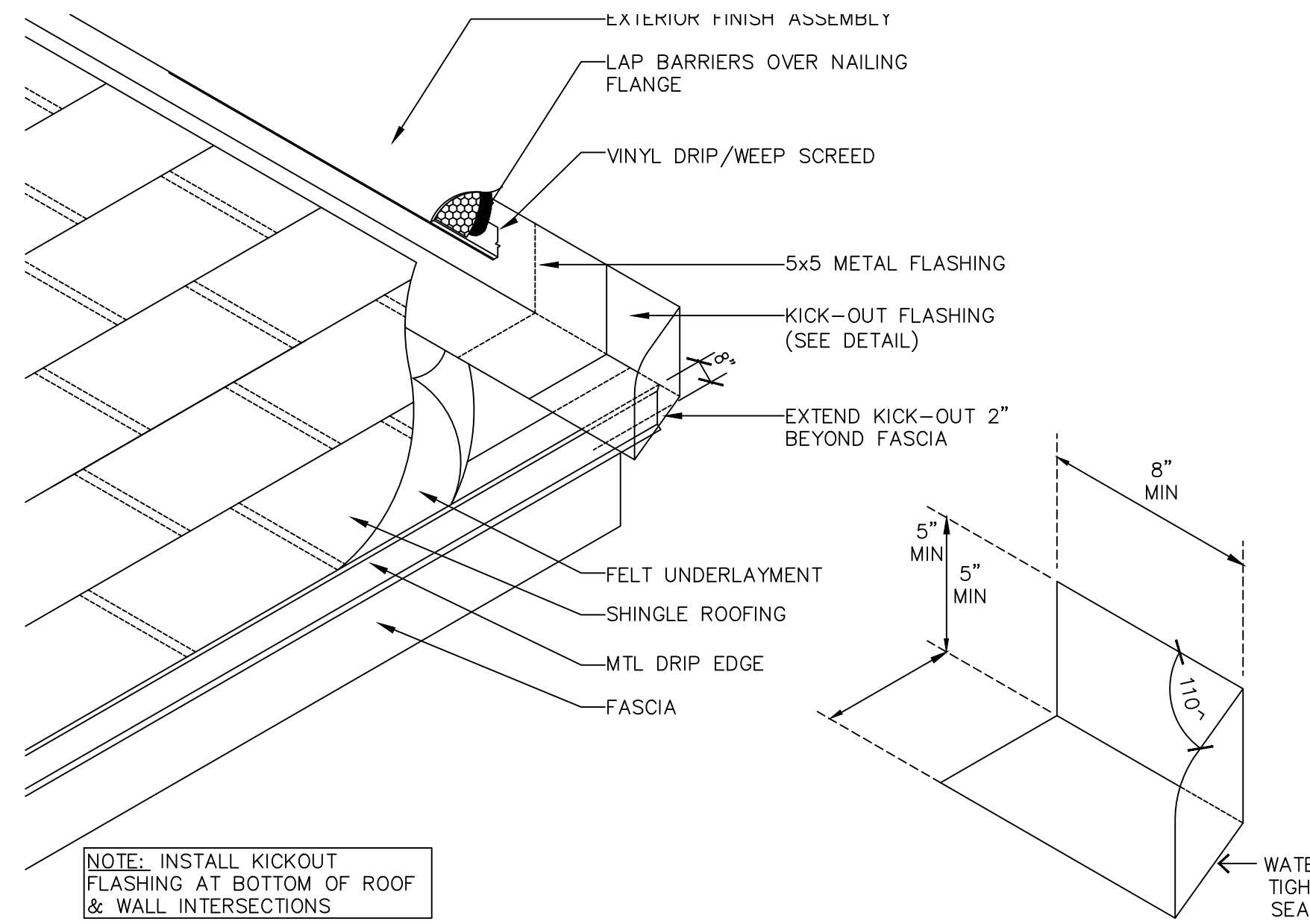
COMMUNITY:

OWNERS:

PLAN INFO:
 1660
 "A"
 BASE PLAN
 2 CAR FRONT

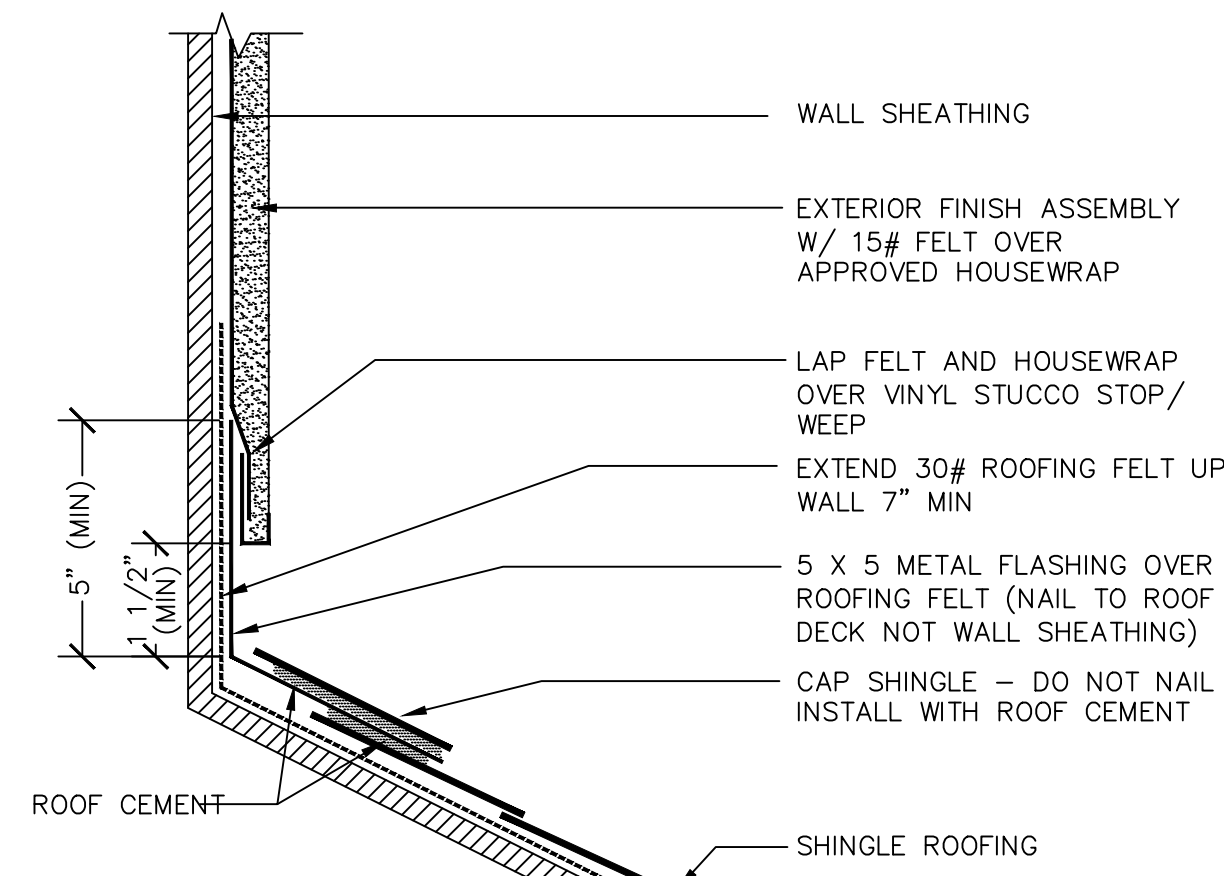
SOUTHERN IMPRESSION HOMES
 5711 Richard St. Suite 1
 Jacksonville, FL 32216

PROJECT #	1660 Fr SF 1ST 480 2BA 2G
DRAWN:	EBG, JMD
PROJ MGR:	EBG, JMD
CHECKED:	EBG, JMD
INDEX, ABBREVIATIONS, GENERAL NOTES & SYMBOLS	GARAGE RIGHT
	"A"
	1660
SHEET #	AD.1

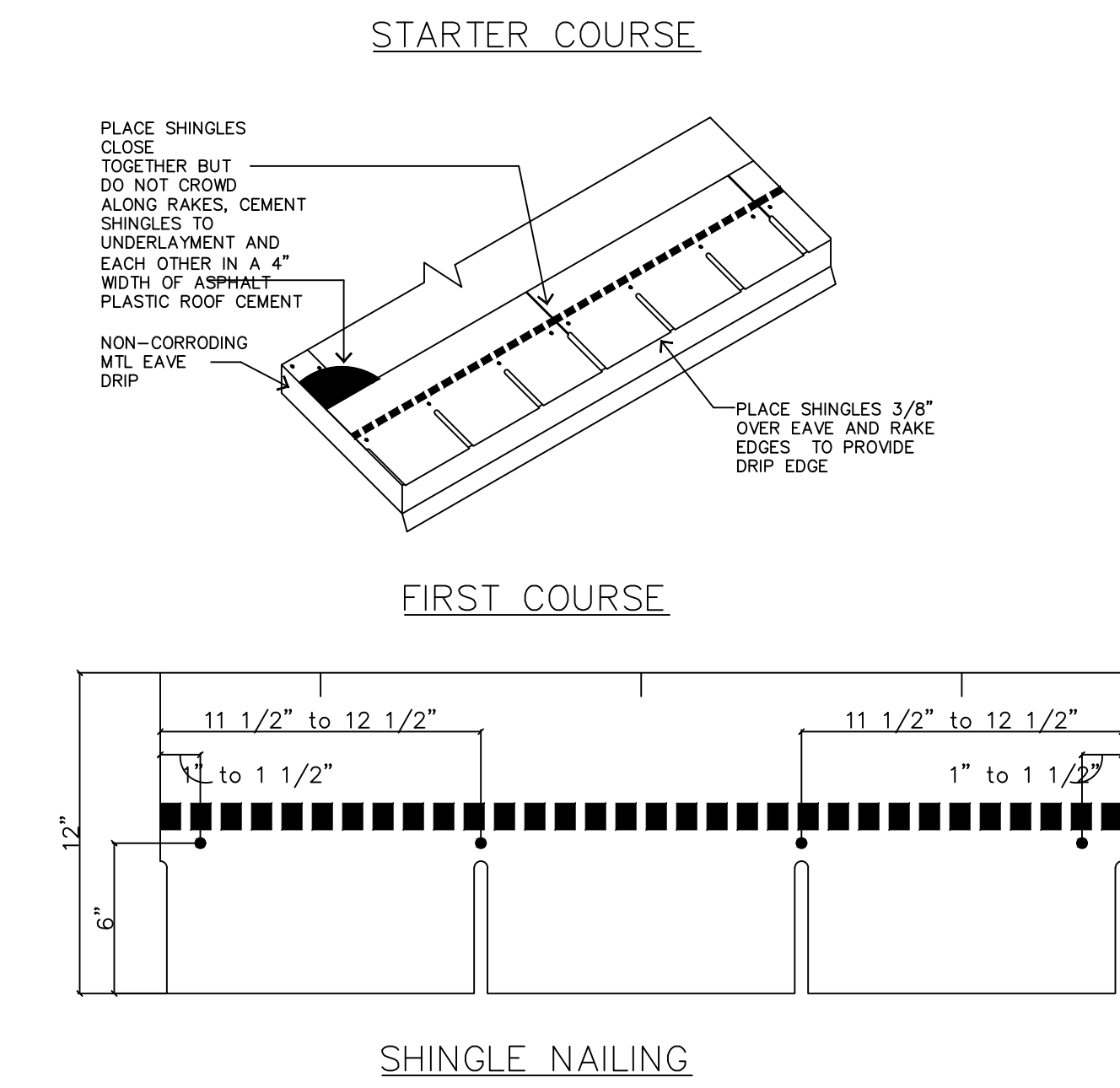
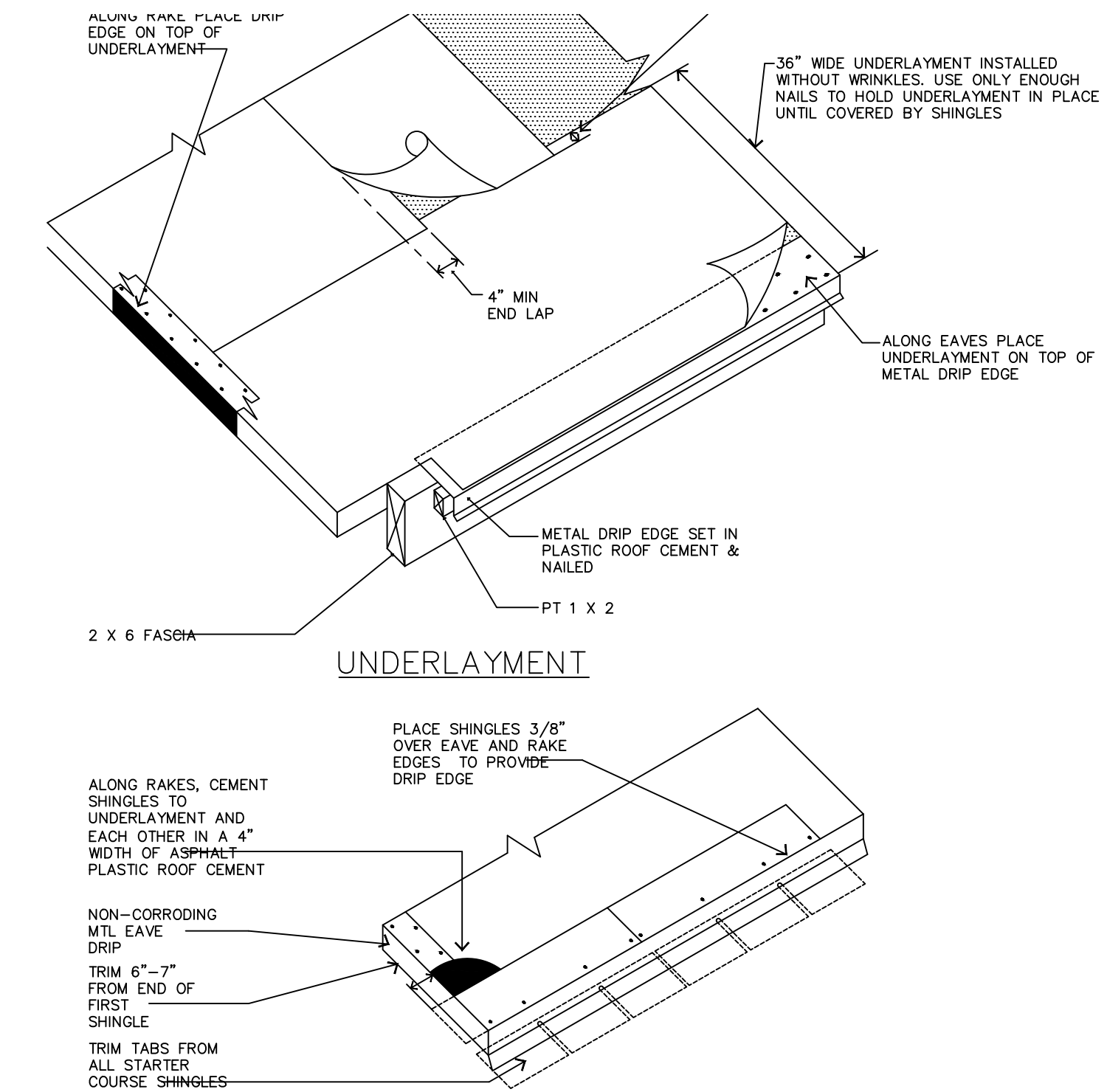


NOTE: INSTALL KICKOUT FLASHING AT BOTTOM OF ROOF & WALL INTERSECTIONS

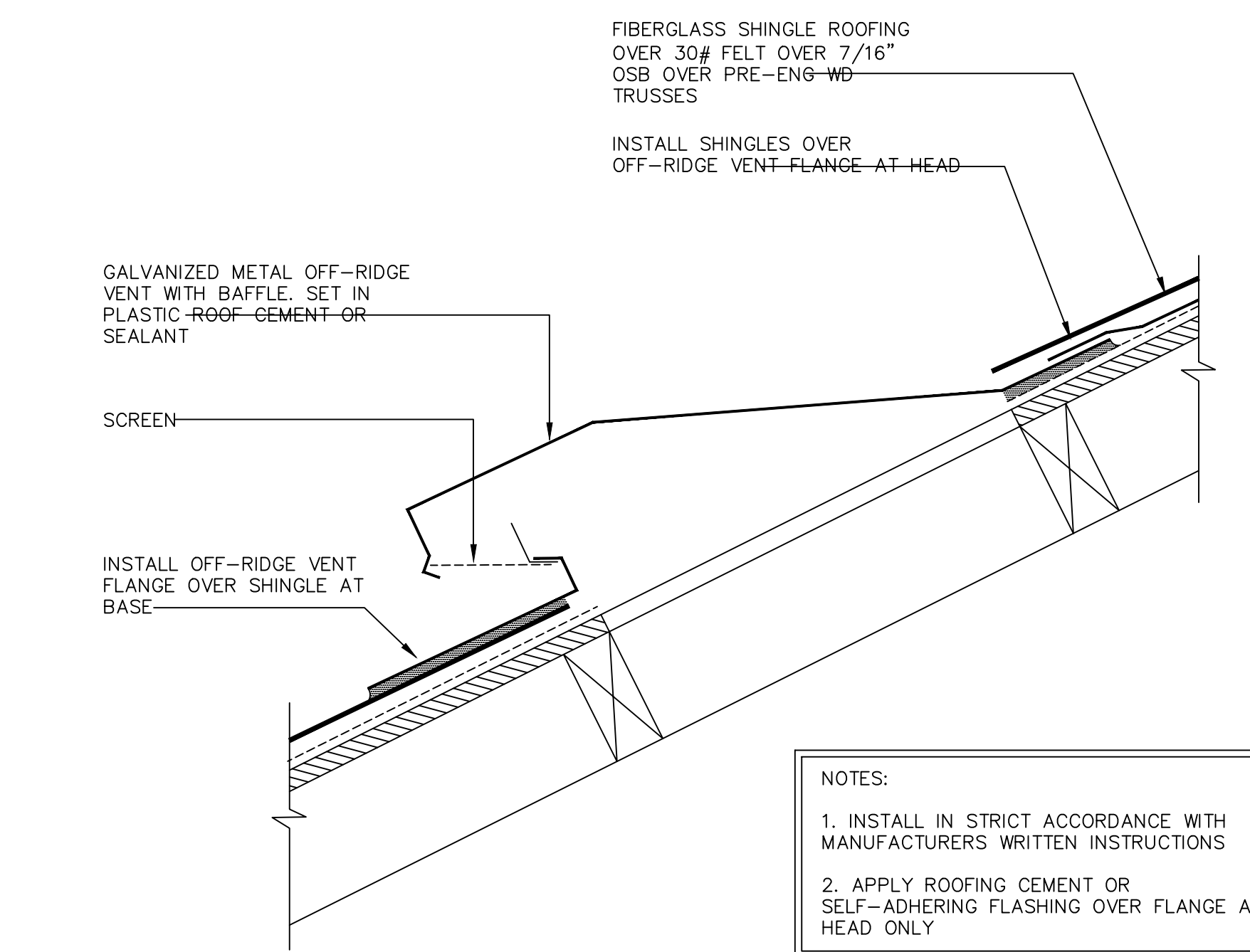
1 DETAIL - WALL/KICKOUT FLASHING
SCALE: NTS



2 DETAIL - WALL FLASHING
SCALE: NTS

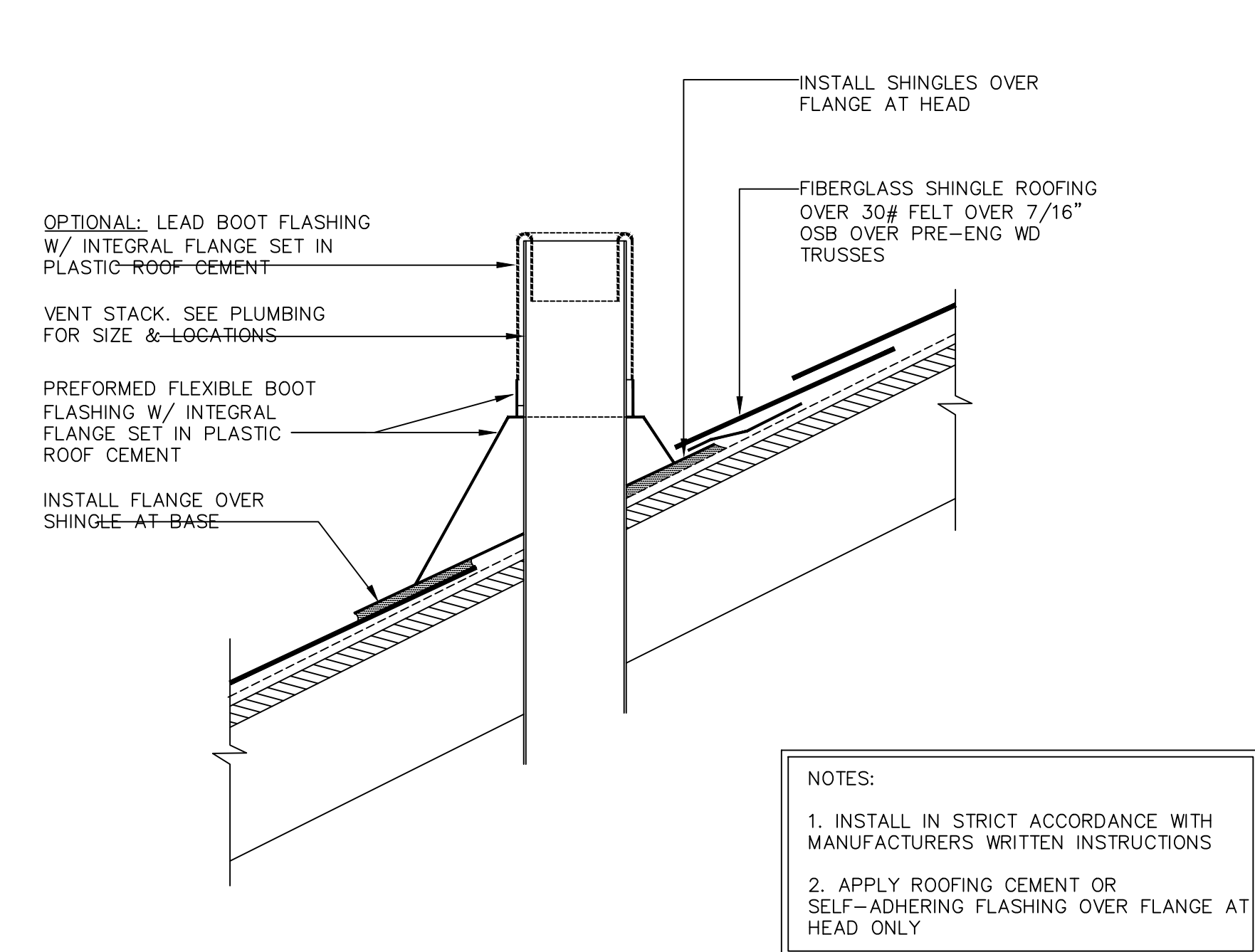


5 ROOFING DETAILS
SCALE: NTS
3:12 or GREATER SLOPE (PER MANUFACTURERS SPECIFICATIONS)



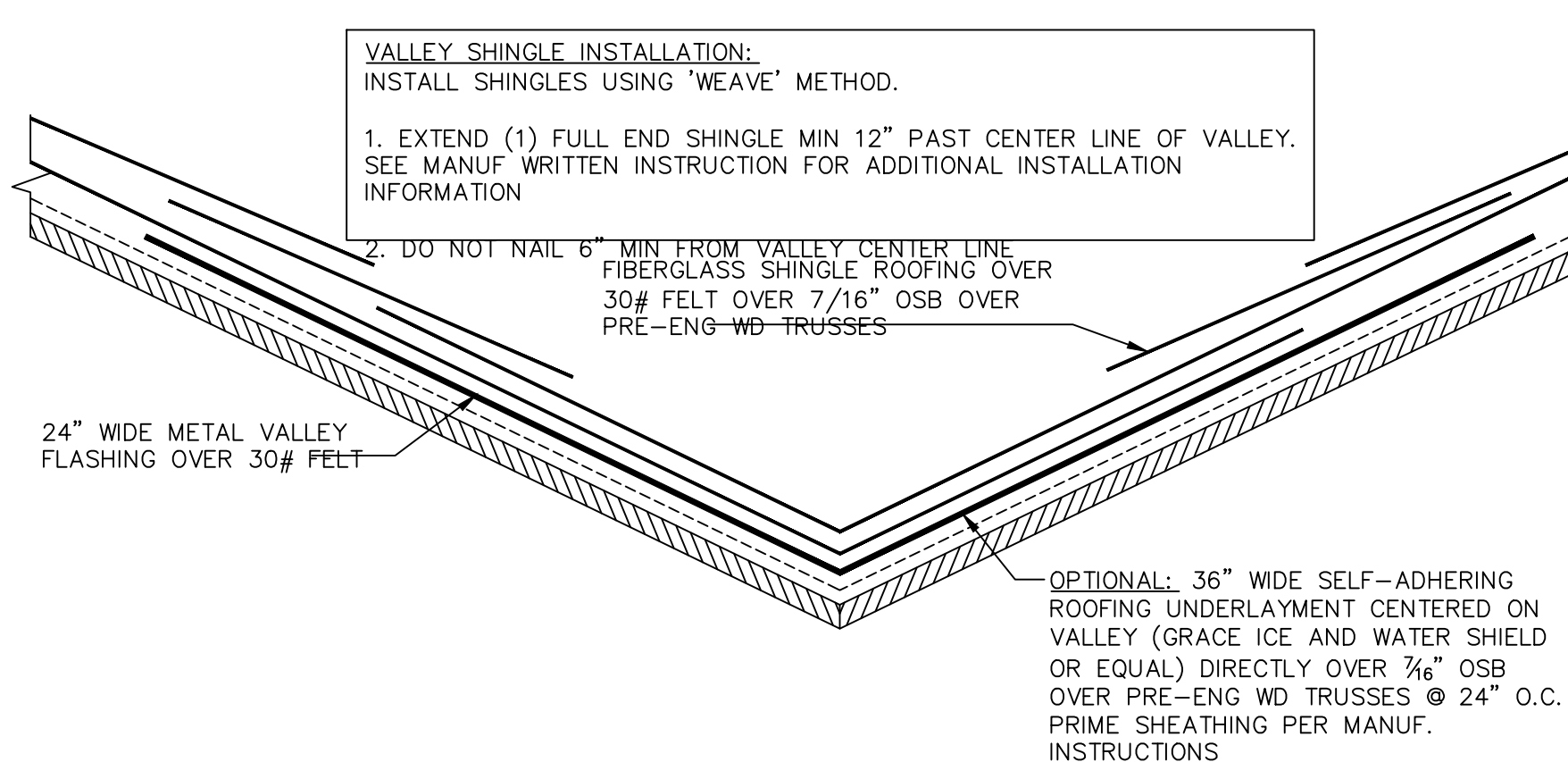
NOTES:
1. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS
2. APPLY ROOFING CEMENT OR SELF-ADHERING FLASHING OVER FLANGE AT HEAD ONLY

3 DETAIL - OFF-RIDGE VENT
SCALE: NTS



NOTES:
1. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS
2. APPLY ROOFING CEMENT OR SELF-ADHERING FLASHING OVER FLANGE AT HEAD ONLY

4 DETAIL - VENT STACK FLASHING
SCALE: NTS



6 DETAIL - VALLEY FLASHING
SCALE: NTS

ISSUE DATE:	
REVISIONS	

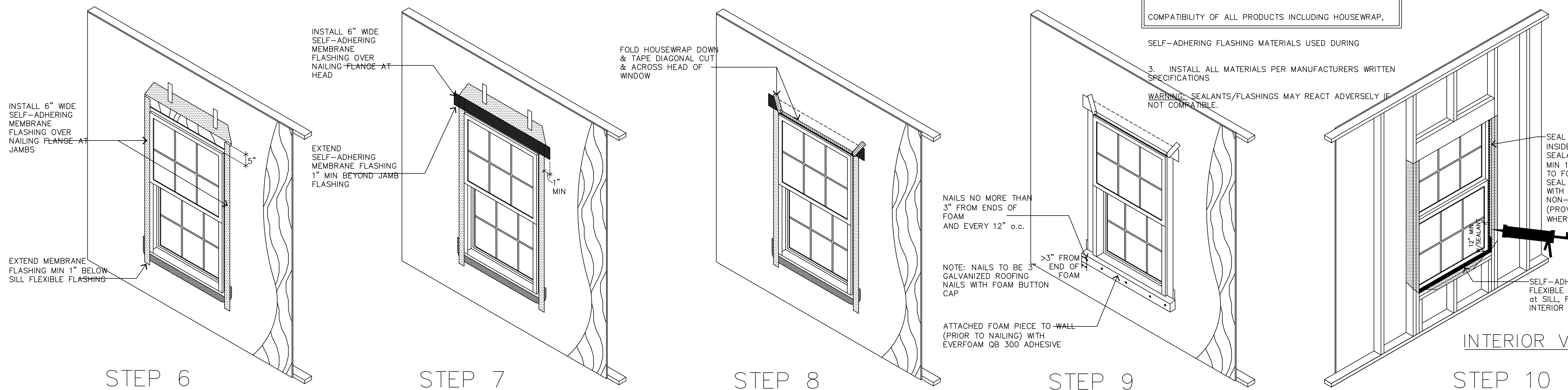
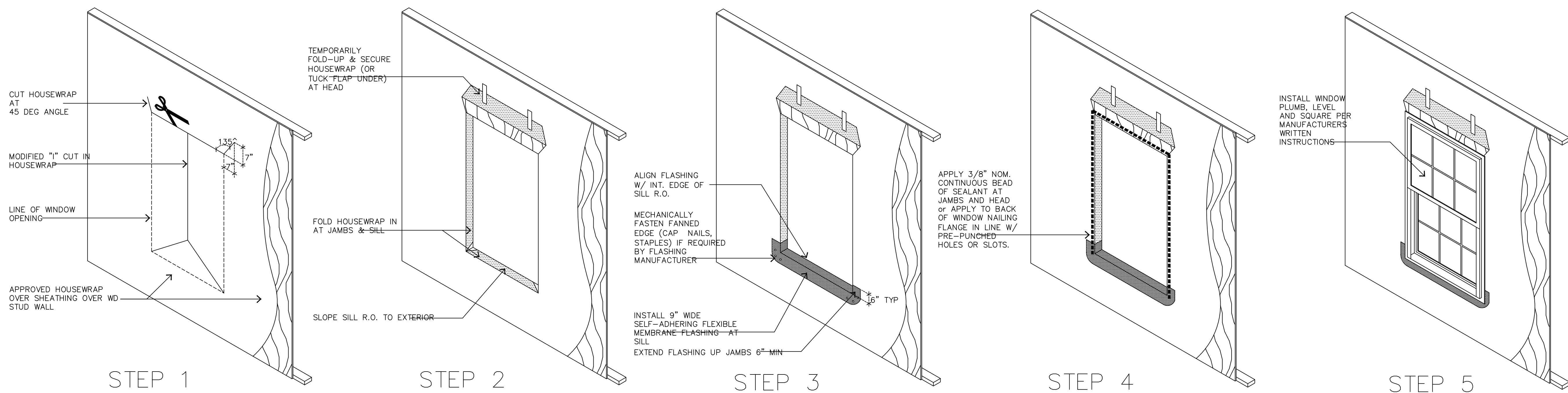
COMMUNITY:	
OWNERS:	
PLAN INFO:	

1660
"A"
BASE PLAN
2 CAR FRONT

PROJECT # 1660 Fr SF 161 480 28A 26
DRAWN: EBC, JMD
PROJ MGR: EBC, JMD
CHECKED: EBC, JMD

SOUTHERN IMPRESSION HOMES
5711 Richard St., Suite 1
Jacksonville, FL 32216

INDEX, ABBREVIATIONS, GENERAL NOTES & SYMBOLS
"A"
1660
SHEET # AD.2



NOTE:

- WINDOW INSTALLATION AND FLASHING DETAILS ARE ASTM 2112 METHOD A-1 EXCEPT SELF-ADHERING ARE USED.
- IT IS THE INSTALLATION CONTACTORS RESPONSIBILITY COMPATIBILITY OF ALL PRODUCTS INCLUDING HOUSEWRAP.
- INSTALL ALL MATERIALS PER MANUFACTURER'S WRITTEN SPECIFICATIONS

WARNING: SEALANTS/FLASHINGS MAY REACT ADVERSELY IF NOT COMPATIBLE.

CONSISTENT WITH MEMBRANE FLASHINGS

TO VERIFY THE SEALANTS & CONSTRUCTION.

ISSUE DATE:	
REVISIONS	

COMMUNITY:

OWNERS:

PLAN INFO:

1660
" A "

BASE PLAN
2 CAR FRONT

SOUTHERN IMPRESSION HOMES
5711 Richard St., Suite 1
Jacksonville, FL 32216

PROJECT # 1660 Fr SF 1ST 480 2BA 2G
DRAWN: EBG, MJD
PROJ MGR: EBG, MJD
CHECKED: EBG, MJD

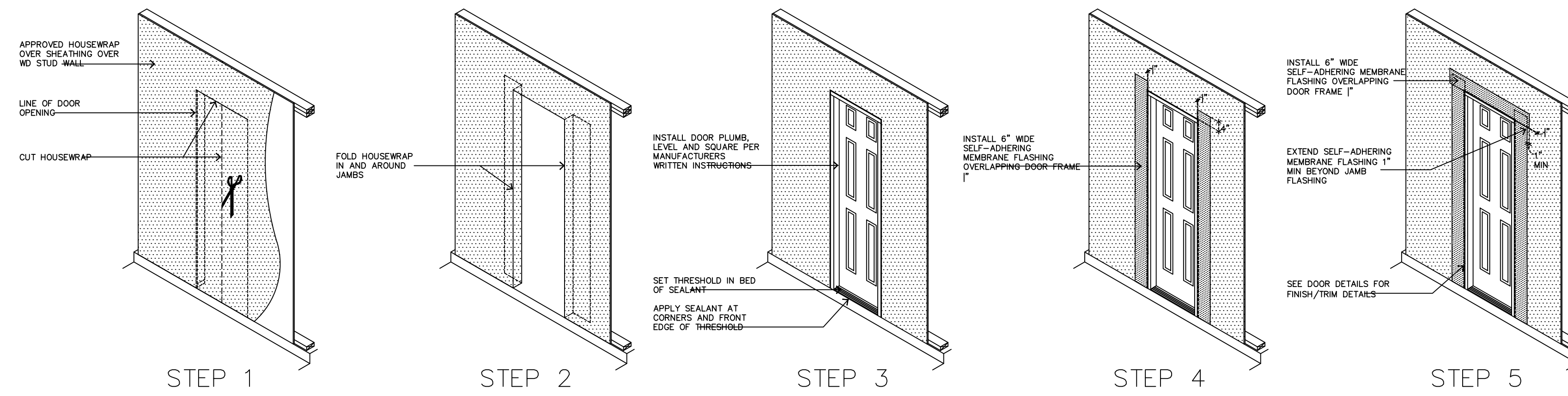
INDEX, ABBREVIATIONS, GARAGE RIGHT
GENERAL NOTES & SYMBOLS " A "

1660

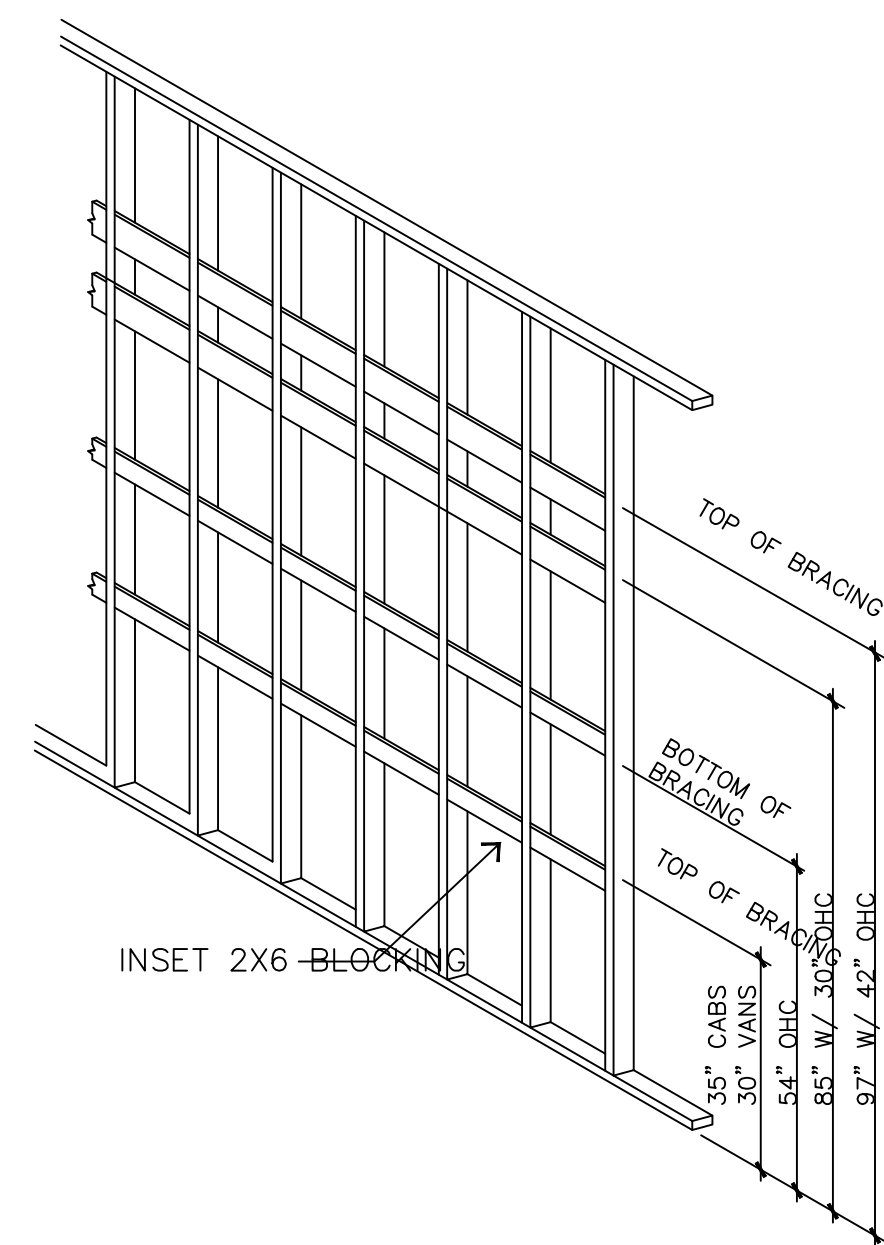
SHEET # AD.3

1 WINDOW FLASHING INSTALLATION DETAILS

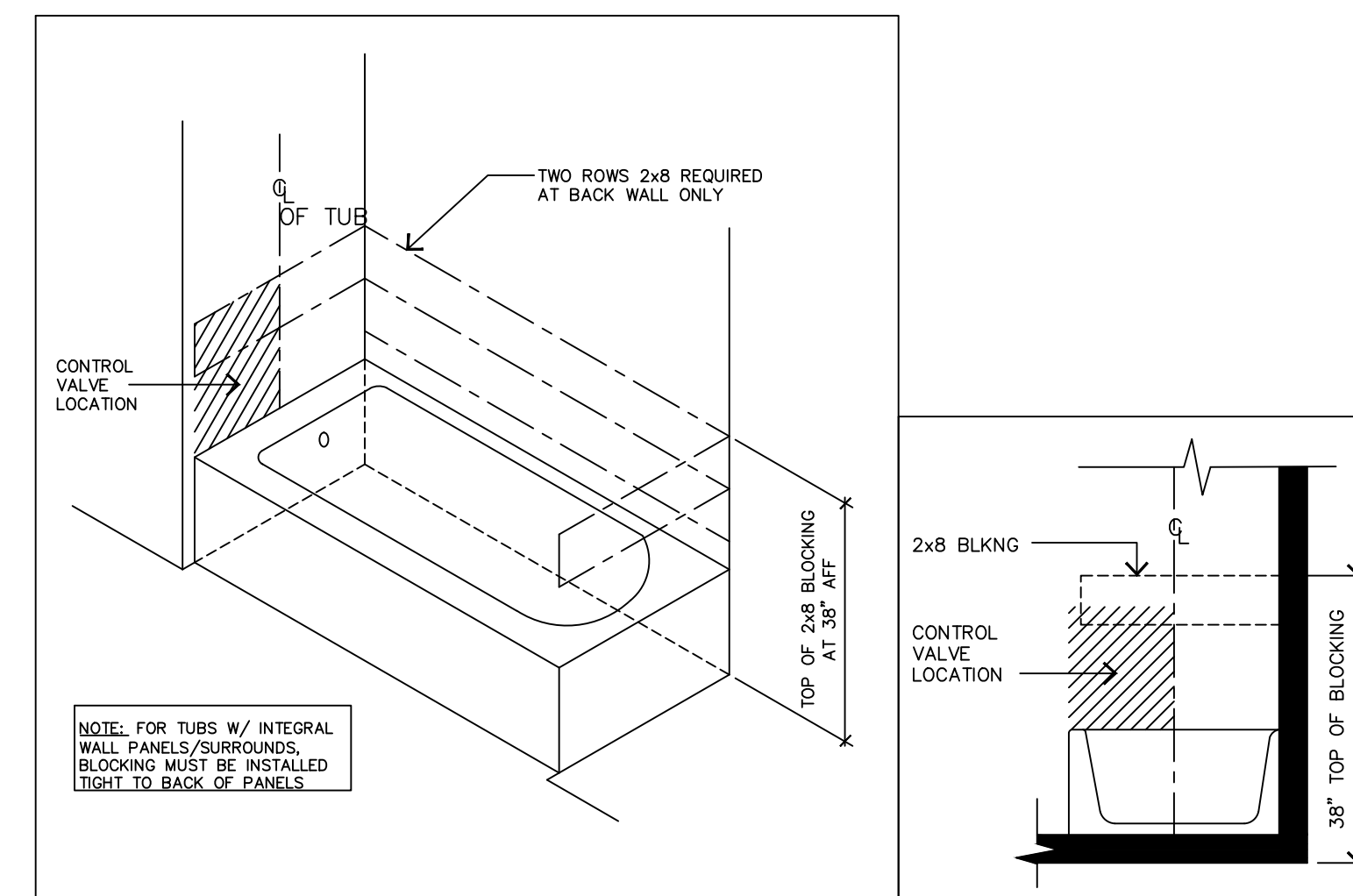
SCALE: NTS



4 DOOR FLASHING INSTALLATION DETAILS
SCALE: NTS



2 CABINET BLOCKING LOCATIONS
SCALE: NTS



3 TUB BLOCKING & CONTROL LOC.
SCALE: NTS

--- DENOTES AREA TO RECEIVE CONT 2X8 BLOCKING, TOP AT 38" AFF

ISSUE DATE:	
REVISIONS	

COMMUNITY:

OWNERS:

PLAN INFO:
1660
"A"
BASE PLAN
2 CAR FRONT

SOUTHERN
IMPRESSION
HOMES
5711 Richard St., Suite 1
Jacksonville, FL 32216

PROJECT # 1660 Fr SF 1ST 480 2BA 2G
DRAWN: EBG, JMD
PROJ MGR: EBG, JMD
CHECKED: EBG, JMD
INDEX, ABBREVIATIONS, GARAGE RIGHT
GENERAL NOTES & SYMBOLS
"A"
1660
SHEET # AD.4

