

PROJECT LOCATION

# NEW CONSTRUCTION PLAN OPTION "A" RIGHT RISER 11479 OAKFIELD CT LOT #1 JACKSONVILLE, FLORIDA 32258



**JAA ARCHITECTURE**  
2716 ST. JOHNS AVENUE  
JACKSONVILLE FL. 32205  
AR 92748  
(904)379-5108

**GENERAL NOTES**

**A--INTENT & USE OF CONSTRUCTION DOCUMENTS**

- THE PURPOSE OF THESE DOCUMENTS IS TO CONVEY DESIGN INTENT ONLY. THE CONTRACTOR SHALL A) BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, B) PROMPTLY NOTIFY ARCHITECT IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, AND C) OBTAIN ALL REQUISITE BUILDING AND OTHER PERMITS REQUIRED IN CONNECTION WITH THE WORK.
- THE CONTRACTOR WILL BE PRESUMED TO HAVE INSPECTED THE SITE AND TO HAVE READ AND TO BE THOROUGHLY FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS. THE FAILURE OR OMISSION OF ANY CONTRACTOR TO EXAMINE ANY FORM, INSTRUMENT OR DOCUMENT SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION IN RESPECT TO HIS WORK.
- THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS, OR WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLE FOR SUCH PORTION OF THE WORK.
- THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISIONS OF ARCHITECT AS TO THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THESE DOCUMENTS SHALL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.
- THE ARCHITECT RESERVES THE RIGHT TO REJECT ITEMS INCORPORATED INTO THE WORK WHICH FAIL TO MEET THE SPECIFIED MINIMUM REQUIREMENTS. THE ARCHITECT FURTHER RESERVES THE RIGHT, AND WITHOUT PREJUDICE TO OTHER RECOURSE, ARCHITECT MAY OR MAY NOT ACCEPT NON-COMPLYING ITEMS SUBJECT TO ANY ADJUSTMENT IN THE CONTRACT AMOUNT AS APPROVED BY THE ARCHITECT AND/OR THE OWNER.

**B--PERMITS, FEES, TAXES, & NOTICES**

- THE CONTRACTOR SHALL PAY ALL SALES, CONSUMER, AND OTHER SIMILAR TAXES FOR THE WORK OR PORTIONS THEREOF PROVIDED BY THE CONTRACTOR WHICH ARE LEGALLY ENACTED AT THE TIME OF CONSTRUCTION.
- UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND FOR ALL OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL EXERCISE REASONABLE EFFORT TO MAKE CERTAIN THAT THE CONTRACT DOCUMENTS ARE IN ACCORDANCE WITH APPLICABLE LAWS, STATUTES, BUILDING CODES AND REGULATIONS. IF THE CONTRACTOR OBSERVES THAT ANY OF THE CONTRACT DOCUMENTS ARE AT VARIANCE THEREWITH IN ANY RESPECT, HE SHALL PROMPTLY NOTIFY ARCHITECT IN WRITING, AND ANY NECESSARY CHANGES SHALL BE ACCOMPLISHED BY APPROPRIATE MODIFICATION.
- IF THE CONTRACTOR PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO SUCH LAWS, ORDINANCES, RULES AND REGULATIONS, AND WITHOUT SUCH NOTICE TO DESIGNER, HE SHALL ASSUME FULL RESPONSIBILITY THEREFORE AND SHALL BEAR ALL COSTS ATTRIBUTABLE THERETO.

**C--COORDINATION & SUPERVISION**

- ALL WORK TO BE SCHEDULED DURING REGULAR BUSINESS HOURS UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE ADVANCE NOTIFICATION TO TENANT'S REPRESENTATIVE WHEN TENANT OR THEIR CONTRACTOR(S) ARE REQUIRED AT JOB SITE FOR COORDINATION MEETINGS OR INSTALLATIONS.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR TO NOTIFY BUILDING OWNER REPRESENTATIVE THAT THE PROJECT IS READY FOR INSPECTION. OWNER/REP WILL COMPIL A "PUNCH LIST" OF CORRECTIONS NEEDED OF UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE SUCCESSFUL COMPLETION OF THE PUNCH LIST.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND SHALL COORDINATE ALL PORTIONS OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- THE CONTRACTOR TO, AT ALL TIMES, KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH; PREMISES TO BE SWEEP CLEAN DAILY.
- THE CONTRACTOR TO PROVIDE FINAL CLEANING OF ALL AREAS OF WORK INCLUDING THE CONSTRUCTION ACCESS ROUTE. FINAL CLEANING TO INCLUDE WINDOWS AND CEILING.

**D--LABOR, MATERIALS, & WARRANTY**

- UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL AT ALL TIMES ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG THE CONTRACTOR'S EMPLOYEES AND SHALL NOT EMPLOY ON THE WORK ANY UNFIT PERSON OR ANYONE NOT SKILLED IN THE TASK ASSIGNED THEM.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENT LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.
- CONTRACTOR AND SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DOCUMENTS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS PRIOR

**FIRE MARSHALL NOTES**

- PROCEEDING WITH THE WORK.
- EACH TRADE WILL BE EXPECTED TO PROCEED IN A FASHION THAT WILL NOT DELAY OTHER TRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION.
- DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGER SCALE DRAWINGS TO GOVERN OVER SMALLER SCALE DRAWINGS.
- DIMENSIONS ARE TO THE FINISHED FACE OF NEW CONSTRUCTION. DIMENSIONS ARE NOMINAL UNLESS OTHERWISE INDICATED.
- IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR IS RESPONSIBLE TO GET CLARIFICATION AND DIRECTION FROM ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BLOCKING FOR WALL SUPPORTED ELEMENTS INCLUDING MILLWORK, EQUIPMENT, FIXTURES AND FURNITURE. CONTRACTOR TO VERIFY EXTENT AND COORDINATE WITH APPROPRIATE SUBCONTRACTORS.
- ALL MATERIALS TO BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT TO BE STORED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN RECOMMENDATIONS AND INSTRUCTIONS.
- THERE WILL BE NO SUBSTITUTIONS OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, ARCHITECT TO DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.
- ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS FOR THE TYPE OF MATERIAL AND INSTALLATION SPECIFIED.
- PAINT TO BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS OVER PROPERLY PREPARED SURFACES. WALLS TO BE STRAIGHT AND SMOOTH. PROVIDE MINIMUM ONE COAT PRIME AND ONE FINISH COAT. FINISHED COAT TO COMPLETELY COVER WITH NO STREAKING OR BLEEDING OF UNDERCOATS.
- MILLWORK TO CONFORM WITH AMI STANDARDS FOR PREMIUM GRADE MILLWORK. DRAWINGS INDICATE DESIGN INTENT. FABRICATOR IS RESPONSIBLE FOR MILLWORK ENGINEERING.
- DRYWALL CONTRACTOR TO CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER TRADES. WHERE DRYWALL IS IN CONFLICT WITH DUCTWORK, PLUMBING LINES, ETC. THIS CONTRACTOR TO PROVIDE ALL NECESSARY BRIDGING AND BRACING REQUIRED TO SECURE DRYWALL AND TO MAINTAIN FIRE OR SOUND RATING WHERE REQUIRED.
- THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION. ALL WORK NOT CONFORMING TO THESE REQUIREMENTS, INCLUDING SUBSTITUTIONS NOT PROPERLY APPROVED AND AUTHORIZED, MAY BE CONSIDERED DEFECTIVE.

**E-- INSTALLATION NOTES (MAY NOT APPLY)**

- ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT TO OPERATE QUIETLY AND BE FREE OF VIBRATION.
- UNLESS OTHERWISE NOTED IN MECHANICAL DRAWINGS OR SPECIFICATIONS, HOLD DUCTS AND MECHANICAL EQUIPMENT TIGHT TO STRUCTURE ABOVE.
- THE CONTRACTOR SHALL NOT LOCATE CEILING DIFFUSERS OR REGISTERS WHERE FULL HEIGHT SHELVING, FILES OR STORAGE UNITS ARE INDICATED ON PLANS. (IF APPLICABLE)
- ALL CEILING DIFFUSERS AND REGISTERS TO BE THE SAME COLOR AS THE CEILING UNLESS NOTED OTHERWISE.
- ALL SURFACES TO BE PROPERLY PRIMED OR PREPARED PRIOR TO INSTALLATION OF SPECIFIED FINISHES.
- PATCH ALL AREAS WHERE THE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF SPECIFIED FLOOR FINISH(-ES).
- PROVIDE ALL NECESSARY CUT-OUTS FOR THE INSTALLATION OF ELECTRICAL AND VOICE/DATA OUTLETS, THERMOSTATS, SWITCHES AND OTHER DEVICES.
- EXTEND ALL FIRE RATED PARTITIONS TO STRUCTURE; FILL ALL VOIDS WITH FIRE SAFING MATERIAL OR FIRE-RATED CAULK, CONTINUOUS AS REQUIRED BY CODE.
- ALL FIRE EXTINGUISHER CABINETS OR ELECTRICAL PANELS LOCATED IN RATED PARTITIONS TO BE BACKED WITH GYPSUM BOARD AS REQUIRED TO MAINTAIN PARTITION RATING.
- CONTRACTOR IS RESPONSIBLE FOR FIRESTOPPING ALL NEW AND EXISTING FIRE RATED PARTITIONS AND ALL PENETRATION THROUGH RATED AREAS INCLUDING SLABS. SEAL TO MAINTAIN PROPER RATING.
- WHERE EXISTING FIREPROOFING HAS BEEN REMOVED AT COLUMNS OR BEAMS, NEW FIREPROOFING TO BE INSTALLED TO COMPLY WITH THE REQUIRED FIRE RATING. CONTRACTOR TO VERIFY IN FIELD.
- WHERE PIPES, CONDUITS OR LOW TENSION WIRING PENETRATE A FIRE RATED ENCLOSURE, THE SPACE AROUND SHALL NOT EXCEED 1/2" AND SHALL BE PACKED SOLID WITH BATT INSULATION AND FITTED WITH ESCUTCHEON PLATES ON BOTH SIDES OR EQUIVALENT TREATMENT TO INSURE COMPLIANCE WITH FIRE RATING.
- WHERE DUCT OR PART OF DUCT IS RUNNING PARALLEL OVER FIRE RATED PARTITION, EXTEND RATED PARTITION AROUND DUCT TO EFFECT COMPLETE MAINTENANCE OF FIRE-RATING.

- ALL FINISH HARDWARE TO BE ADA COMPLIANT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA 101 LIFE SAFETY CODE (7.2.1.5)
- CONTRACTOR SHALL PROVIDE EXIT DOOR TACTILE SIGNAGE (PER NFPA 101,7.10.1.3). EXIT TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN. SIGNAGE SHALL MEET ALL ACCESSIBLE REQUIREMENTS. TO BE MOUNTED ON LATCH SIDE OF DOOR, 60" AFF.
- TACTILE SIGNAGE SHALL READ AS FOLLOWS: EXIT
- TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1, AMERICAN NATIONAL STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

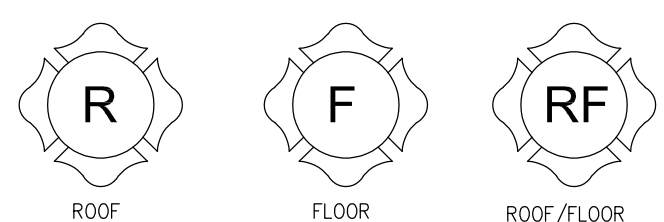
- ACCESSIBLE ELEMENTS AND SPACES THE FACILITY HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF CH. - 11 IN THE FLORIDA BUILDING CODE. FOR ALTERATIONS OF EXISTING BUILDINGS 20% OF THE BUDGET HAS BEEN DEDICATED TO ADA IMPROVEMENTS WITH PRIORITY BEING GIVEN TO THE FOLLOWING ELEMENTS (IN ORDER)
  - ACCESSIBLE ENTRANCE
  - ACCESSIBLE ROUTE TO ALTERED AREA
  - AT LEAST ONE ACCESSIBLE RESTROOM FOR EACH SEX OR A SINGLE UNISEX RESTROOM.
  - ACCESSIBLE TELEPHONES
  - ACCESSIBLE DRINKING FOUNTAINS
  - WHEN POSSIBLE, ADDITIONAL ACCESSIBLE ELEMENTS SUCH AS PARKING, STORAGE, AND ALARMS

- FIRE EXTINGUISHERS SHALL BE PROVIDED, INSTALLED, INSPECTED AND TAGGED BY A LICENSED FIRE EXTINGUISHER COMPANY.

- ALL LOCKED DOORS WITHIN THE DESIGNED FACILITY IF PROVIDED WITH A LOCK, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFECT FOR OPERATION FROM THE EGRESS SIDE.

- CONTRACTOR WILL PROVIDE AN EXTERIOR ELECTRICAL DISCONNECT IF ONE DOES NOT CURRENTLY EXIST.

- THIS PROJECT DOES CONTAIN LIGHT FRAME TRUSS TYPE MATERIALS AND DOES NEED TO BE LABELED ACCORDING TO FAC 69A-60.0081.



FIRE SPRINKLER SYSTEM TO BE INSTALLED BY LICENSED FIRE PROTECTION CONTRACTOR. DRAWINGS TO BE PROVIDED BY OTHERS AND MAY REQUIRE SEPARATE PERMITTING.

INTERIOR WALL & CEILING FINISH CLASS REQUIREMENTS		
CLASS	FLAME SPREAD INDEX	SMOKE-DEVELOPED INDEX
A	0-25	0-450
B	26-75	0-450
C	76-200	0-450

INTERIOR EXIST. STAIRWAYS, INTERIOR EXIT RAMPS & EXIT PASSAGEWAYS	CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRWAYS & EXIT ACCESS RAMPS	ROOMS & ENCLOSED SPACES
A-3-ASSEMBLY		
A	A	C

**FBC CODE SUMMARY**

APPLICABLE CODES	FLORIDA BUILDING CODE 7TH EDITION 2020	
	FLORIDA EXISTING BUILDING 7TH EDITION 2020	
	FLORIDA PLUMBING CODE 7TH EDITION 2020	
	FLORIDA MECHANICAL CODE 7TH EDITION 2020	
	FLORIDA ACCESSIBILITY CODE 7TH EDITION 2020	
OCCUPANCY TYPE	GROUP: R-2 RESIDENTIAL	FBC 2020 (311.2)
CONSTRUCTION TYPE	NEW BUILDING - TYPE VB	FBC 2020 (TABLE 601)
SPRINKLERED Y/N	YES (LESS THAN 50 HEADS)	
OCCUPANT LOAD	900 SF / 200 = (4.5 OCCUPANTS PER UNIT X 4 UNITS = 18 OCCUPANTS TOTAL.)	FBC 2020 (TABLE 1004.5)
GROSS BUILDING AREAS & HEIGHTS		
GROSS ALLOWABLE AREA	7,000 SF	FBC 2020 (TABLE 506.2)
GROSS AREA PROPOSED (UNDER ROOF)	4,446 SF	
UNITS # 1-4 GROSS AREAS	900 SF	
ALLOWABLE HEIGHT	60'-0"	FBC 2020 (TABLE 504.3)
PROPOSED HEIGHT	+/- 26'-6"	
ALLOWABLE STORIES	3	FBC 2020 (TABLE 504.4)
PROPOSED STORIES	2	
MEANS OF EGRESS		
REQUIRED # OF EXITS	1	FBC 2020 (1006.2.1, 1007.1.1)
PROPOSED # OF EXITS	1	
ALLOWABLE HEIGHT	35'-0"	
PROPOSED HEIGHT	+/- 26'-6"	
MAX TRAVEL DISTANCE	200'-0" MAX.	FBC 2020 (TABLE 1017.2)
PROPOSED TRAVEL DIST.	79'-2"	
COMMON PATH OF TRAVEL	100'-0" MAX.	FBC 2020 (TABLE 1006.2.1)
PROPOSED COMMON PATH	N/A	
REQUIRED EGRESS WIDTH	.2(5) = 2.8"	FBC 2020 (1005.3.2)
MIN. MEANS OF EGRESS WIDTH	32"	FBC 2020 (1010.1.1)
PROP. MEANS OF EGRESS WIDTH	(1) 34" (+ EGRESS WINDOWS)	

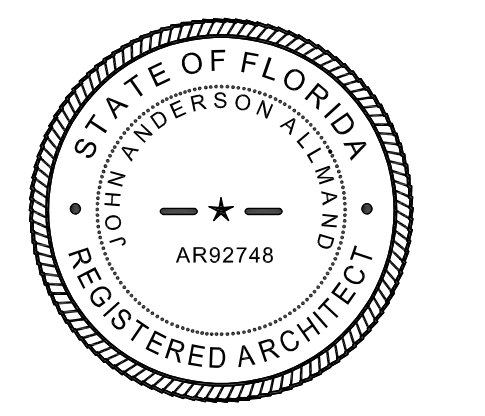
SHEET INDEX			
SHEET #	DESCRIPTION OF SHEET	REV. #	REV. DATE
A0	COVER SHEET		
A0.1	OVERALL ARCHITECTURAL SITE PLAN		
A1	FIRST/ SECOND FLOOR LIFE SAFETY PLAN		
A2	FIRST/ SECOND FLOOR PLAN		
A3	FOUNDATION PLUMBING PLAN & ROOF PLAN		
A4	FRONT, REAR, RIGHT & LEFT ELEVATIONS		
AD1	WALL SECTION & DETAILS		
AD2	FOUNDATION & WALL DETAILS		
AD3	WINDOW DETAILS		
AD4	DOOR DETAILS		
AD5	FLASHING DETAILS		
AD6	RATED WALL DETAILS		
AD7	ROOFING DETAILS		
AD8	STAIR SECTION AND DETAILS		
M0.0	MECHANICAL DETAILS		
M1.0	MECHANICAL PLAN		
E1.1	ELECTRICAL PLAN		
E2.1	ELECTRICAL RISER AND PANEL SCHEDULE		
P0.0	PLUMBING NOTES, SCHEDULES, AND DETAILS		
P1.0	SANITARY PLANS		

TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633, FLORIDA STATUTES. TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE SPACE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 7TH EDITION 2020 AND THE 7TH EDITION OF THE FLORIDA FIRE PREVENTION CODE BASED ON NFPA, 1 FIRE CODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION.

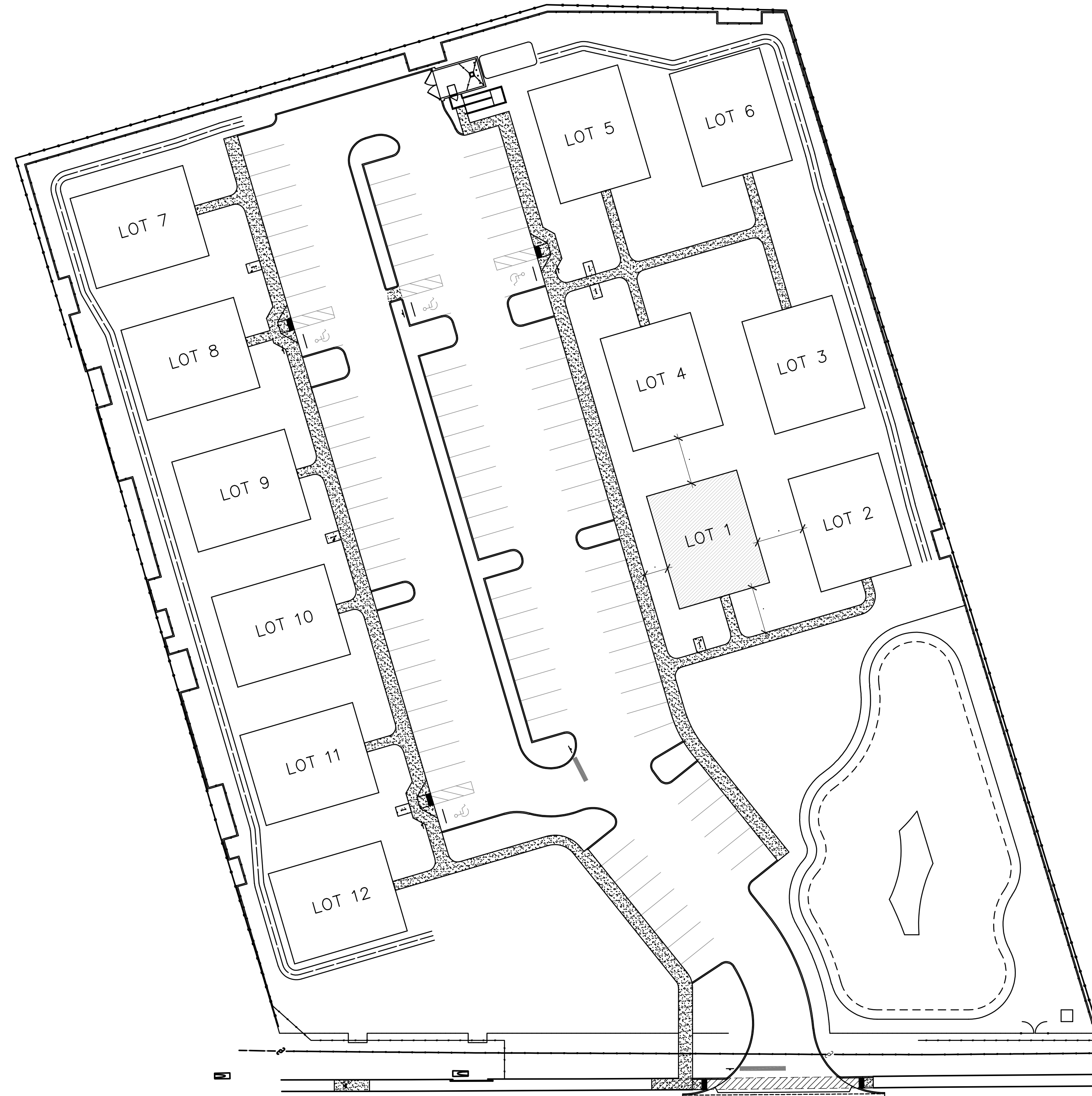
**FFPC CODE SUMMARY**

APPLICABLE CODES	7TH EDITION FLORIDA FIRE PREVENTION CODE BASED ON NFPA 1 FIRECODE 2018 EDITION & NFPA 101 LIFE SAFETY CODE 2018 EDITION	
OCCUPANCY TYPE	GROUP: RESIDENTIAL - APARTMENTS	NFPA 101, (6.1.13)
SUBCLASSIFICATION	N/A	
HAZARD CLASSIFICATION	-	NFPA 101 (6.2.2.3)
HAZARD CATEGORY	-	NFPA 101 (TABLE 43.7.3)
CONSTRUCTION TYPE	NEW BUILDING - TYPE V (000)	NFPA 101 (TABLE A.8.2.1.2)
BUILDING REHABILITATION	NEW CONSTRUCTION	NFPA 101 (43.2.2.1.3)
SPRINKLERED Y/N	YES (LESS THAN 50 HEADS)	
OCCUPANT LOAD	900 SF / 200 = (4.5 OCCUPANTS PER UNIT X 4 UNITS = 18 OCCUPANTS TOTAL.)	NFPA 101 (TABLE 7.3.1.2)
BUILDING AREA		
GROSS AREA UNDER ROOF	4,446 SF	
UNIT # 1-4 GROSS AREAS	900 SF	
BUILDING HEIGHT	+/- 26'-6"	
BUILDING STORIES	2	
MEANS OF EGRESS		
REQUIRED # OF EXITS	1 PER UNIT	NFPA 101 (7.4.1.2)
PROPOSED # OF EXITS	1 PER UNIT	
MAX TRAVEL DISTANCE	200'-0" (SPRINKLERED)	NFPA 101 (TABLE 42.2.6)
PROPOSED TRAVEL DIST.	58'-0"	
COMMON PATH OF TRAVEL	50'-0" MAX	NFPA 101 (TABLE 42.2.5)
MAX DEAD-END LIMIT	50'-0"	
REQUIRED EGRESS WIDTH	.2(5) = 1.8"	NFPA 101 (TABLE 7.3.3.1)
MIN. MEANS OF EGRESS WIDTH	32"	NFPA 101 (7.2.1.2.3)
PROP. MEANS OF EGRESS WIDTH	(1) 34" (+ EGRESS WINDOWS)	
EMERGENCY LIGHTING		NFPA 101 (42.2.9)

IF IT IS DETERMINED THAT RADIO SIGNAL STRENGTHS ARE BELOW THE ACCEPTABLE -95 DBM, AN IN-BUILDING EMERGENCY RESPONDER RADIO COMMUNICATIONS SYSTEM MEETING THE REQUIREMENTS OF NFPA 72, 2018 WILL BE INSTALLED.



THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 05/31/2022 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE APPROVED SEAL FROM THE AIA.



1 ARCHITECTURAL SITE PLAN  
 A0.1 1/32" = 1'-0"



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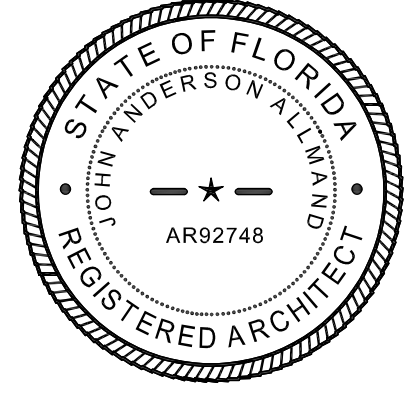
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**NEW CONSTRUCTION  
 PLAN OPTION "A" RIGHT RISER  
 11479 OAKFIELD CT  
 LOT #1  
 JACKSONVILLE, FLORIDA**

ARCHITECT: JOHN A. ALLMAND  
 LICENCE #: AR92748

THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT, ON 07.18.2022 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE AHL.

REVISIONS		
#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		



DATE: 07.18.2022

PROJECT # 19-123.17

**A0.1**

PERMIT SET

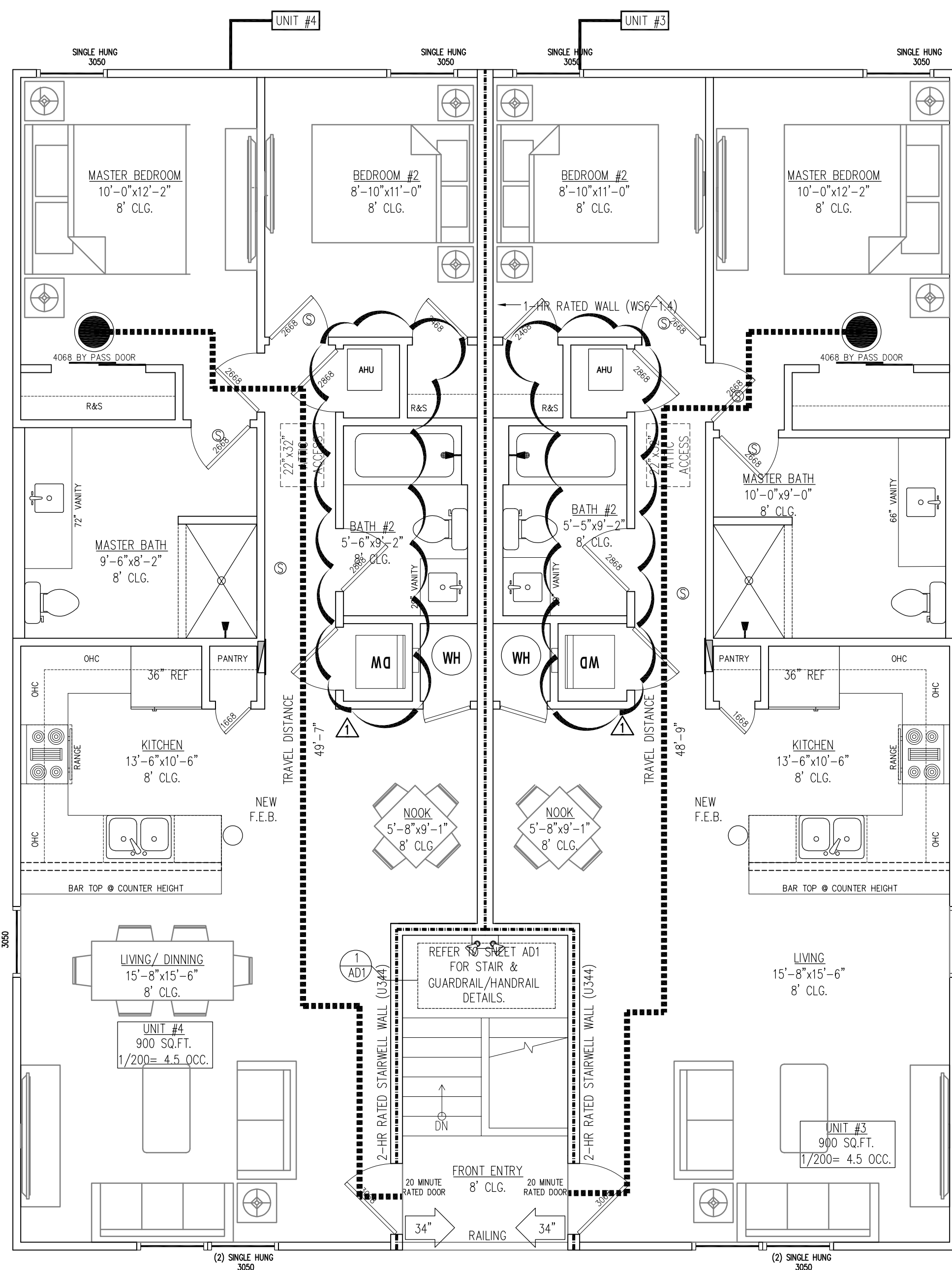


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OCCUPANCY SCHEDULE						
UNIT #	RM. NAME	AREA (SQ. FT.)	CLASSIF.	LOAD FACTOR	OCC.	
#1	UNIT- 1	900	R-2	1:200	4.5	
#2	UNIT- 2	900	R-2	1:200	4.5	
#3	UNIT- 3	900	R-2	1:200	4.5	
#4	UNIT- 4	900	R-2	1:200	4.5	
TOTAL NET AREA (USABLE SPACE):		3,600	TOTAL OCCUPANTS:		18	
TOTAL GROSS AREA (TOTAL TENANT SPACE):		4,000				

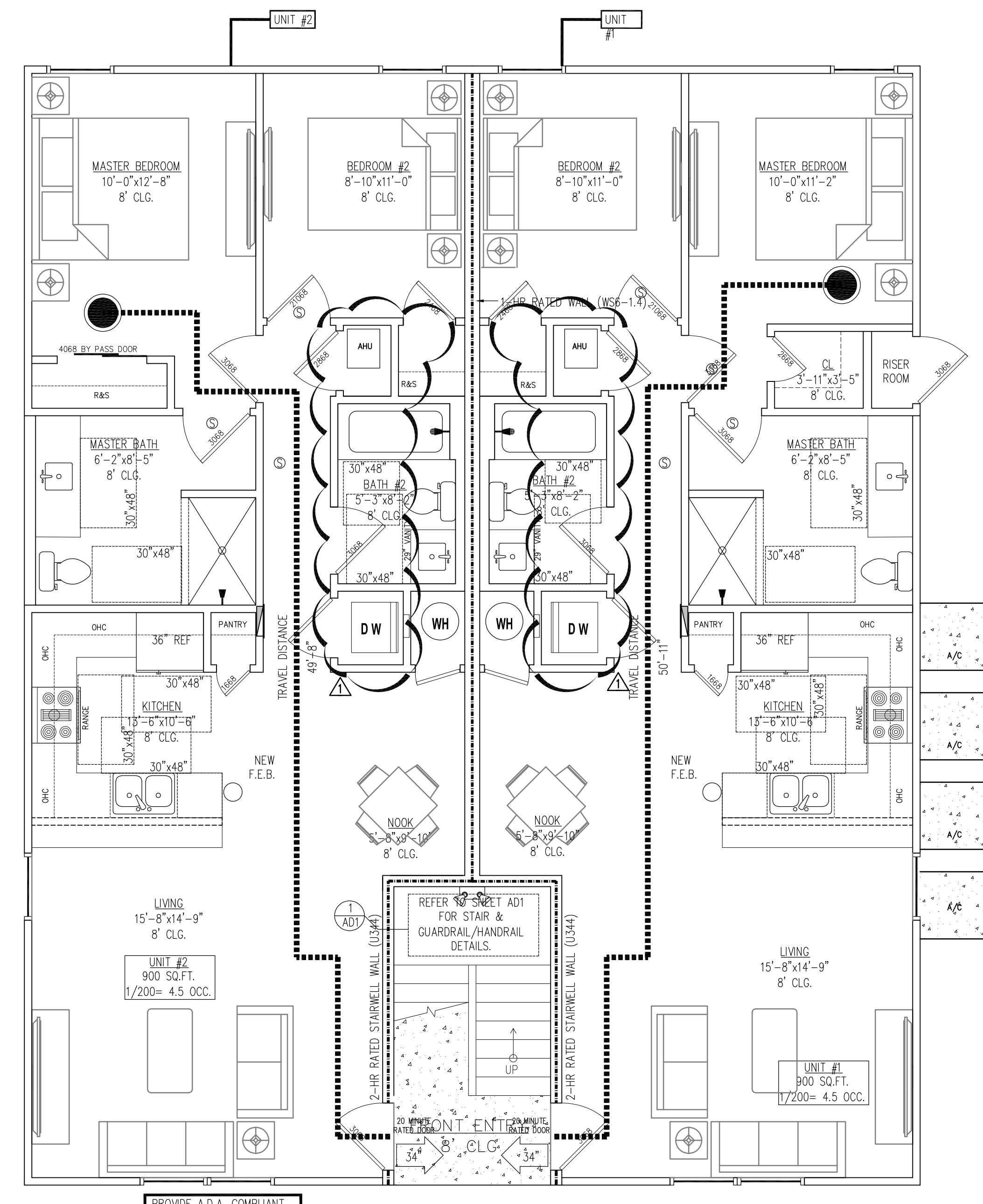


BUILDING AREAS   LEVEL 1	
1ST FLOOR HEATED AREA	1,905 SF
FRONT ENTRY & STAIR	95 SF
BUILDING AREAS   LEVEL 2	
2ND FLOOR HEATED AREA	1,905 SF
FRONT ENTRY & STAIR	95 SF
TOTAL UNDER ROOF (CONDITIONED & UNCOND.) = 4,000 SF	
TOTAL CONDITIONED SPACE 1ST & 2ND = 3,810 SF	

- PROVIDE GUARDRAIL & SIGNAGE TO READ "NO STORAGE UNDER STAIRS"
- PROVIDE A.D.A. COMPLIANT THRESHOLD, TYP. @ FIRST FLOOR UNITS.
- ALL ENTRY DOORS SHALL BE NO MORE THAN SLABS OF FORCE TO OPEN.

LIFE SAFETY LEGEND

- DENOTES SEPARATE FIRE AREA
- TRAVEL LINE
- ⊙ ILLUMINATED EXIT SIGN
- FEB ○ FIRE EXTINGUISHER
- ⚡ EMERGENCY LIGHTING
- ⊕ SMOKE/CARBON MONOXIDE DETECTOR WALL MOUNTED
- ⊙ SMOKE/CARBON MONOXIDE DETECTOR CEILING MOUNTED
- STARTING POINT
- ← 34" EGRESS WIDTH



PARTITION LEGEND	
NEW INTERIOR WALL	---
1HR EXTERIOR WALL (U344)	---
1HR PARTY WALL (WS6-1.4)	---

NEW CONSTRUCTION  
 PLAN OPTION "A" RIGHT RISER  
 11479 OAKFIELD CT  
 LOT #1  
 JACKSONVILLE, FLORIDA

ARCHITECT: JOHN A. ALLMAND  
 LICENCE #: AR92748  
 THIS ITEM HAS BEEN DIGITALLY SEALED BY JOHN ALLMAND, ARCHITECT ON 07.18.2022 USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. APPROVED CONSTRUCTION DOCUMENTS ON SITE SHALL BEAR THE "APPROVED" SEAL FROM THE A.H.L.

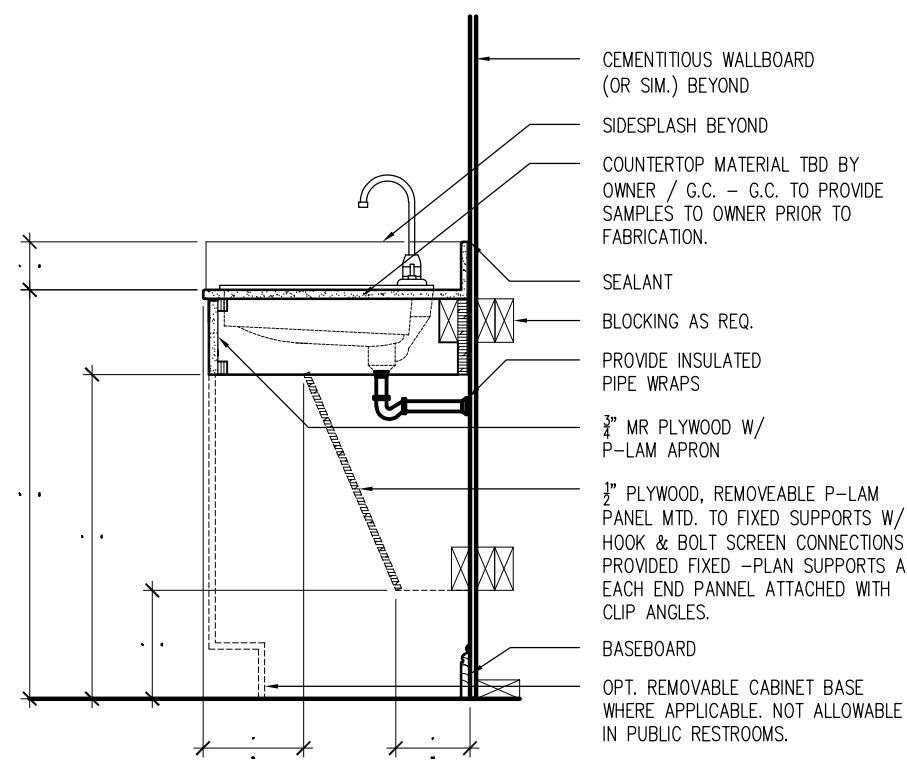
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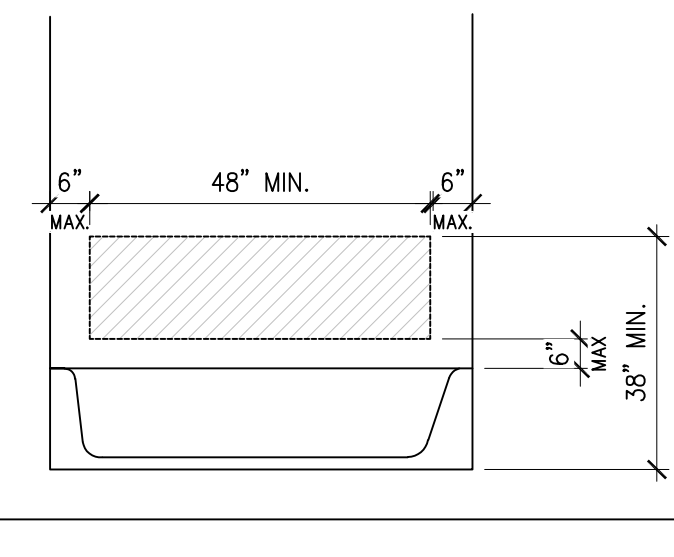
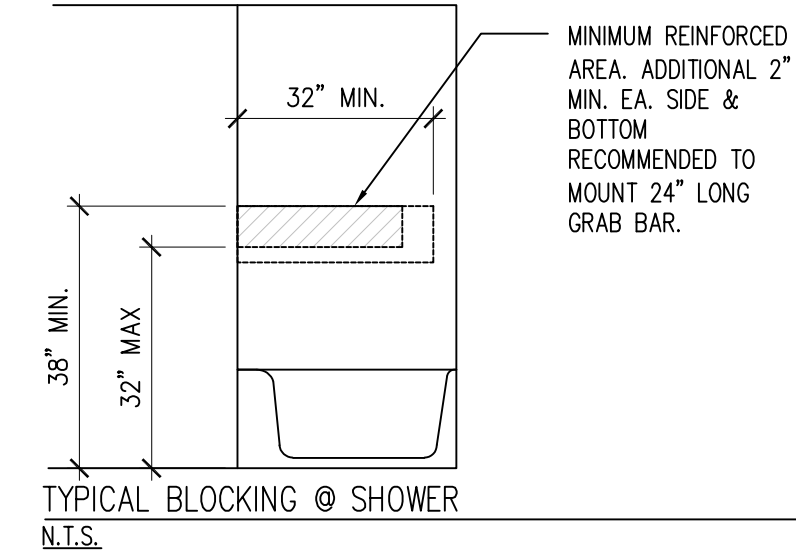
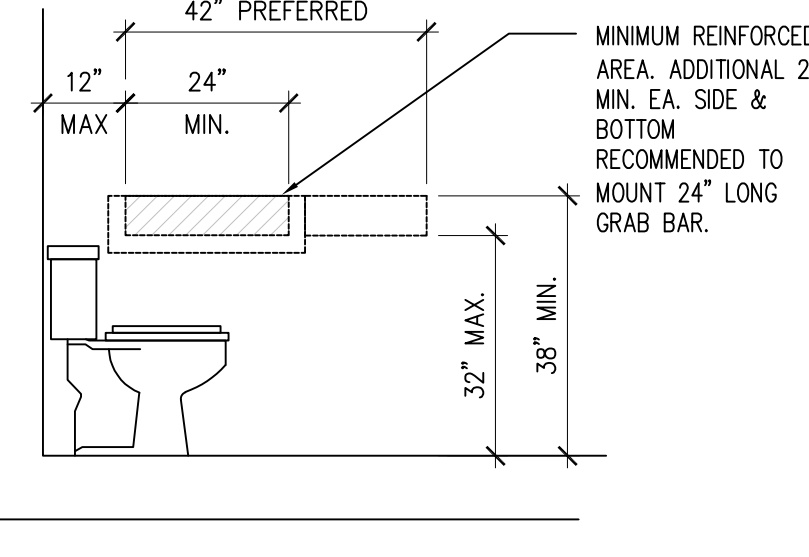
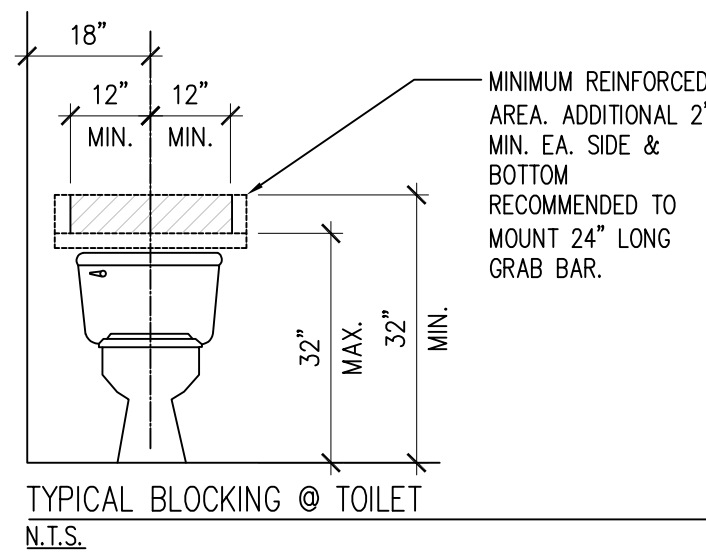
DATE: 07.18.2022

PROJECT # 19-123.17

A1  
 PERMIT SET



SPEC "A" FAIR HOUSING BATHROOM UNITS. CLEAR FLOOR SPACES ARE INDICATED ON THE PLANS REFERENCED W/ DASHED LINES.



3 TYPICAL REMOVABLE VANITY BASE  
A2 1/4" = 1'-0"

PARTITION LEGEND	
NEW INTERIOR WALL	[Symbol]
1HR EXTERIOR WALL (U344)	[Symbol]
1HR PARTY WALL (WS6-1.4)	[Symbol]

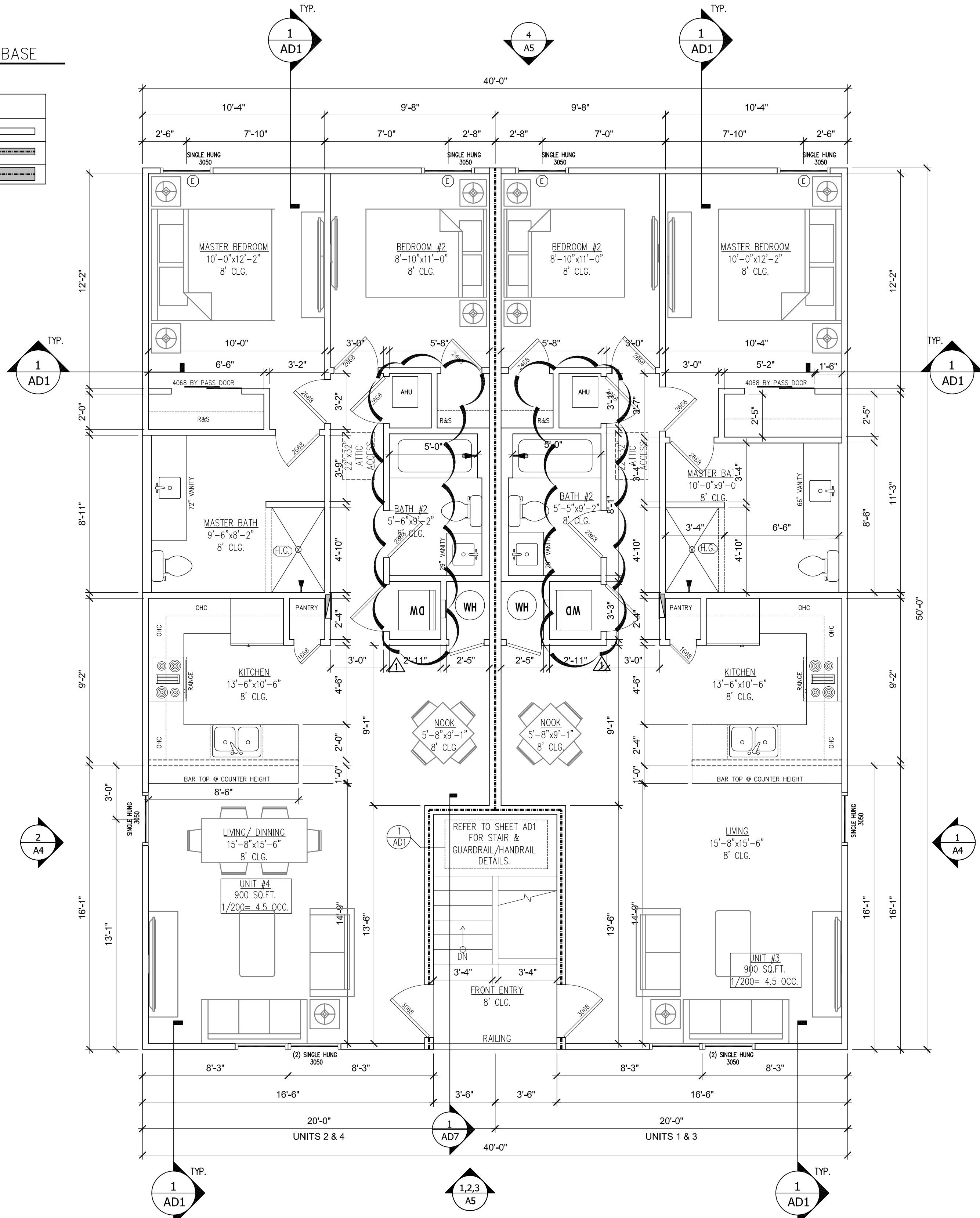
- GENERAL NOTES**
- VERIFY INTERIOR BEARING WALLS PER TRUSS ENGINEERING.
  - PROVIDE ELECTRICAL CONDUITS TO ISLANDS AS REQUIRED.
  - ALL FLOOR FINISHES TO BE DETERMINED BY BUILDER.
  - VERIFY MIN. 24" SILL HEIGHT AT ALL SECOND STORY WINDOWS.
  - BRAND AND STYLE OF WINDOWS & DOORS T.B.D. BY BUILDER.
  - PROVIDE ALL REQUIRED 2X BLOCKING IN WALLS FOR CABINETS AND TVS, ETC.
  - CLOSET SYSTEM OPTIONAL FOR ALL PANTRY, LINEN, ETC.
  - ⓔ DENOTES 5.7 SQFT. EGRESS REQ. TEMPERED GLASS REQUIRED.
  - ⓗ DENOTES HAZARDOUS GLASS LOCATION.

- STAIR NOTES**
- MAX RISER HEIGHT TO BE 7" MAX, TOTAL TREAD DEPTH SHALL BE 11" MIN.
  - TREADS SHALL BE 2X12'S GLUED AND NAILED (RIPPED DOWN AS REQ'D.)
  - RISERS SHALL BE 1X'S GLUED AND NAILED (RIPPED DOWN AS REQ'D.)
  - LANDINGS SHALL BE CONSTRUCTED OF 2X8'S @16" O.C.
  - STRINGERS SHALL BE 2X12'S EQUALLY SPACED.
  - REFER TO SHEET A08 FOR ADDITIONAL INFORMATION.

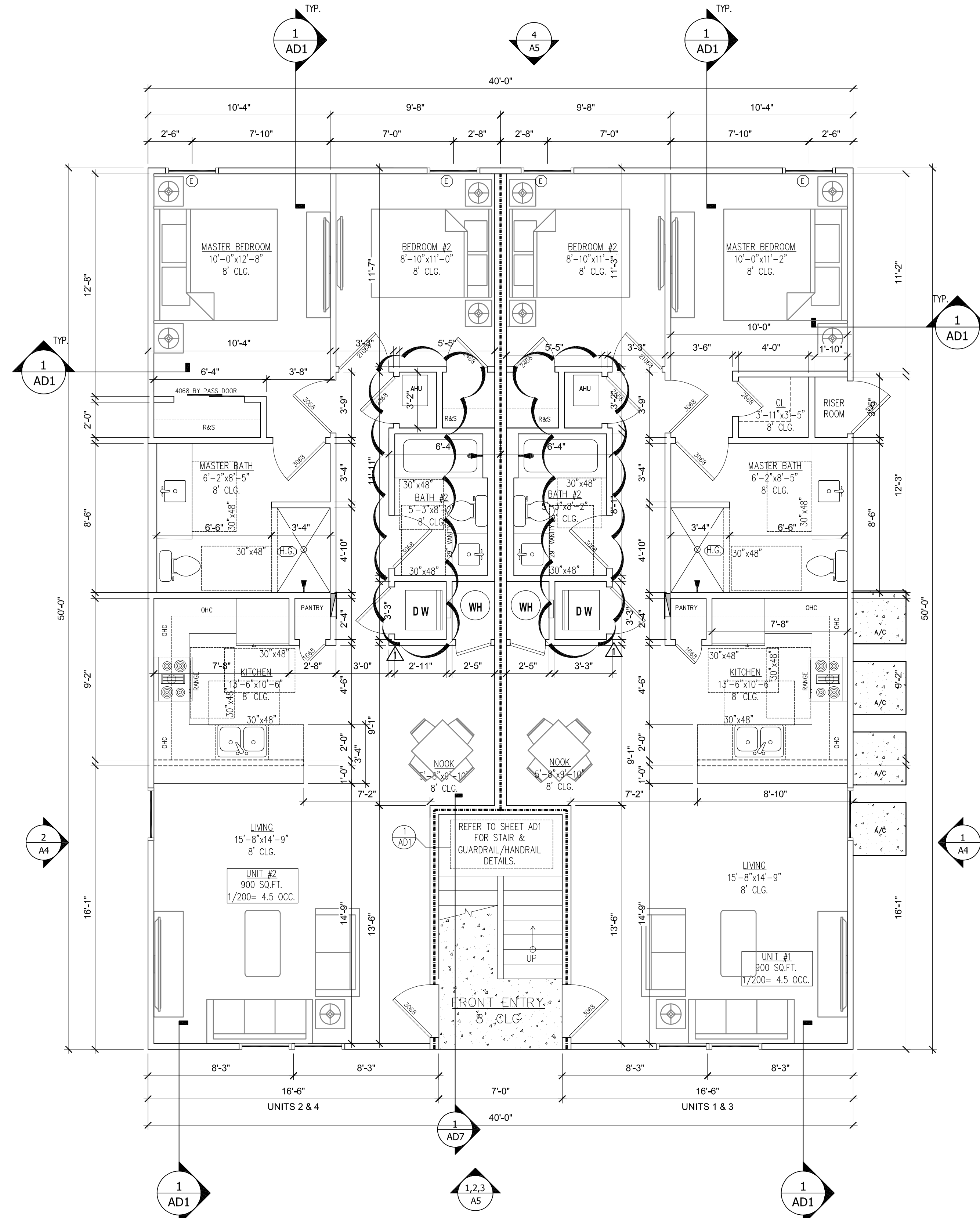
NOTE: AT BOTH FIRST FLOOR UNITS: ALL SWITCHES, OUTLETS, & THERMOSTATS SHALL BE MOUNTED 15" MIN. A.F.F. TO 48" A.F.F. TO CENTER OF PLATE. PROVIDE MIN. 36" FROM INSIDE CORNERS TO CENTER OF OUTLET/SWITCH.

**SITE PLAN NOTES**

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO STAKE-OUT PERIMETER OF STRUCTURE & FIELD VERIFY ALL SETBACKS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
- VERIFY EXIST. FLOOD ZONES & COORDINATE ALL REQUIRED DOCUMENTS/REQUIREMENTS W/ SCOPE OF WORK IF APPLICABLE.
- VERIFY ALL CODES & RESTRICTIONS WITH STATE & LOCAL MUNICIPALITIES PRIOR TO CONSTRUCTION.
- G.C. TO VERIFY ANY EXISTING STRUCTURES, SEPTIC, GAS, ETC. DEMOLISH & RELOCATE AS REQUIRED PER LOCAL CODES
- \*\*ALL SERVICES TO BE PROVIDED BY - J.E.A.\*\* (WATER, SEWER, & ELECTRICAL) (BUILDER TO VERIFY)
- \*\* THE APPLICANT/OWNER/CONTRACTOR SHALL IMMEDIATELY CONTACT DUAL COUNTY LOT GRADING STAFF SHOULD MODIFICATIONS TO THE DRAINAGE PLAN BE REQUIRED DURING SITE DEVELOPMENT, BASED ON ACTUAL FIELD CONDITIONS.\*\*



2 SECOND FLOOR PLAN  
A2 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
A2 1/4" = 1'-0"

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LIC. AR92748

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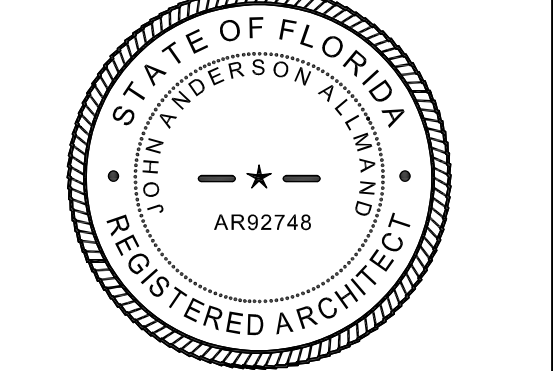
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**NEW CONSTRUCTION  
PLAN OPTION "A" RIGHT RISER  
11479 OAKFIELD CT  
LOT #1  
JACKSONVILLE, FLORIDA**

ARCHITECT: JOHN A. ALLMAND  
LICENCE #: AR92748

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PROJECT # 19-123.17

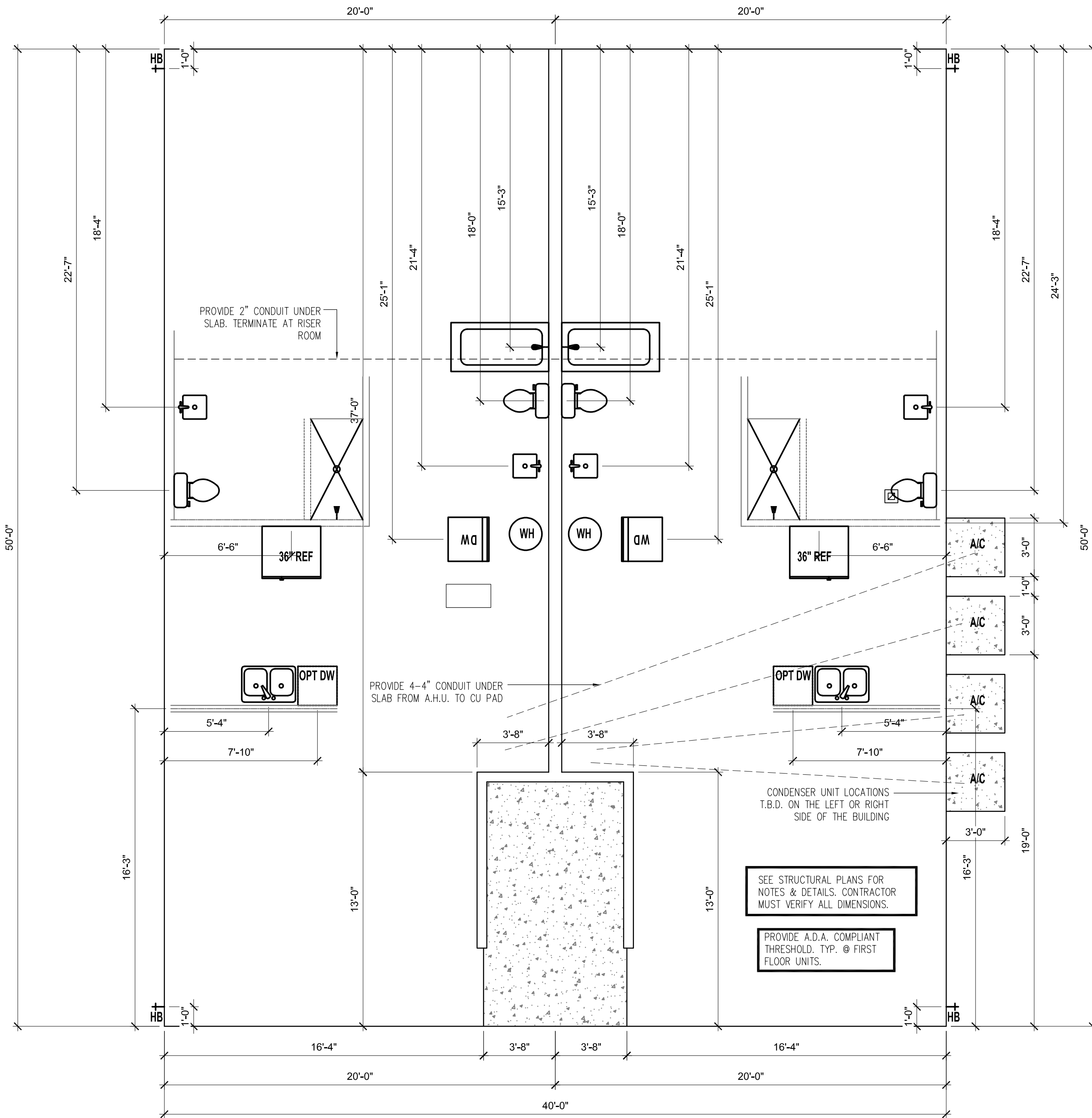
**A2**  
PERMIT SET

**VENT CALCULATIONS PER UNIT**

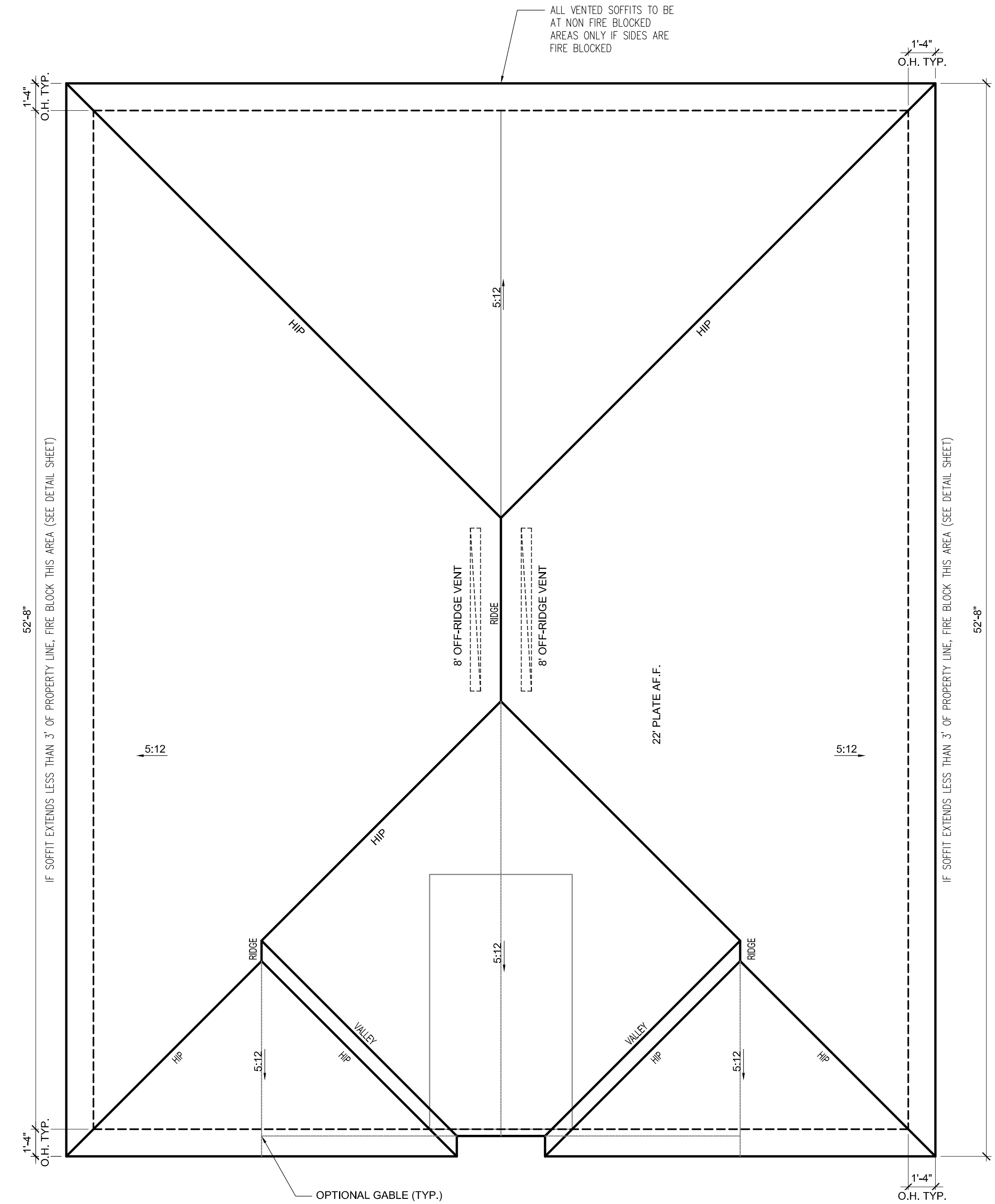
**VENTED SOFFIT**  
 VENTILATED ATTIC AREA: 1,000 SQ. FT.  
 1,000 / 300 = 3.33 SQ. FT.  
 3.33 SQ. FT. X 144 = 480 SQ. IN. TOTAL NET FREE VENT AREA  
 480 X 50% = 240 SQ. IN. NET FREE  
 SOFFIT REQUIREMENT = 6.55 SQ. IN. NET FREE PER LF  
 240 / 6.55 = 37 LF VENTED SOFFIT REQUIRED

**OFF-RIDGE VENTS**  
 VENTILATED ATTIC AREA: 1,000 SQ. FT.  
 1,000 / 300 = 3.33 SQ. FT.  
 3.33 SQ. FT. X 144 = 480 SQ. IN. TOTAL NET FREE VENT AREA  
 480 X 50% = 240 SQ. IN. NET FREE  
 (1) 8' OFF-RIDGE VENT REQUIRED  
 (8' = 288 SQ. IN. EACH)

- GENERAL ROOF NOTES**
1. THE ROOFING PLAN IS GENERAL IN NATURE AND INDICATES APPROXIMATE CONDITIONS AT THE PROJECT SITE AT THE TIME THE ROOFING IS READY TO BE INSTALLED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND/OR OWNER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
  2. GENERAL CONTRACTOR TO COORDINATE WITH TRUSS MANUFACTURER AND MECHANICAL CONTRACTOR THE PROVISION OF ALL A/C DUCT WORK OPENINGS THROUGH TRUSSES. SUBMIT SHOP DRAWINGS FOR APPROVAL.
  3. GENERAL CONTRACTOR AND TRUSS MANUFACTURER TO COORDINATE ALIGNMENT OF TRUSSES. IF ANY DISCREPANCIES CONTACT THE OWNER AND/OR ARCHITECT PRIOR TO FABRICATION OF TRUSSES.
  4. FOR COMPLETE ROOFING PLAN DETAILS REFER TO STRUCTURAL DRAWINGS BY OTHERS.
  5. ATTIC INSULATION TO BE AS INDICATED ON INDEX SHEET AD1 AND PER THE PLAN NOTATIONS
  6. OWNER OPTION: PROVIDE ALUMINUM GUTTERS & DOWNSPOUTS IF SELECTED BY OWNER. GC TO INSTALL/COORDINATE.
  7. ROOFING MATERIAL COLOR TO BE SELECTED BY OWNER SELECTED MANUFACTURER
  8. METAL FLASHING TO BE 26 GA. G-90 GALVANIZED UNLESS NOTED OTHERWISE.
  9. UNDERLAMENT TO SELF ADHERING UNDERLAMENT MEMBRANE (POLYGLASS T1 PLUS OR EQUAL) OR OTHER CODE COMPLIANT UNDERLAMENT AS SELECTED BY OWNER
  10. PROVIDE PRESSURE-TREATED WOOD BATTENS 45/IF RECOMMENDED BY MANUFACTURER, AND FOR ALL ROOFS W/ SLOPES GREATER THAN 7:12. WHEN BATTENS ARE USED, PROVIDE BATTENS 4"-0" LONG MAX. W/ 1/2" SPACE BETWEEN ENDS OF BATTENS, FOR WATER DRAINAGE.
  11. ALL ROOFING TO BE ARCHITECTURAL SHINGLES UNLESS NOTED OTHERWISE.



2 FOUNDATION PLUMBING PLAN  
 A3 1/4" = 1'-0"



1 ROOF PLAN  
 A3 1/4" = 1'-0"



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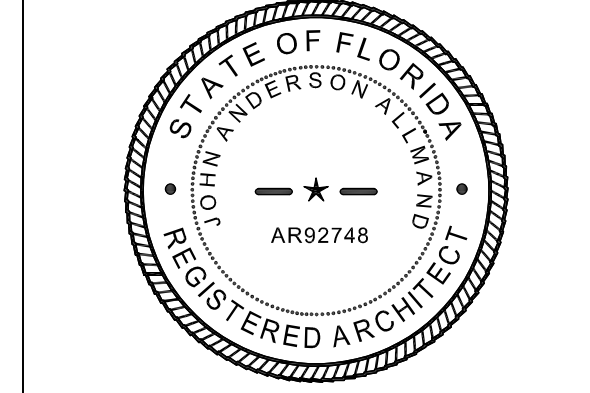
NEW CONSTRUCTION  
 PLAN OPTION "A" RIGHT RISER  
 11479 OAKFIELD CT  
 LOT #1  
 JACKSONVILLE, FLORIDA

ARCHITECT: JOHN A. ALLMAND  
 LICENCE #: AR92748

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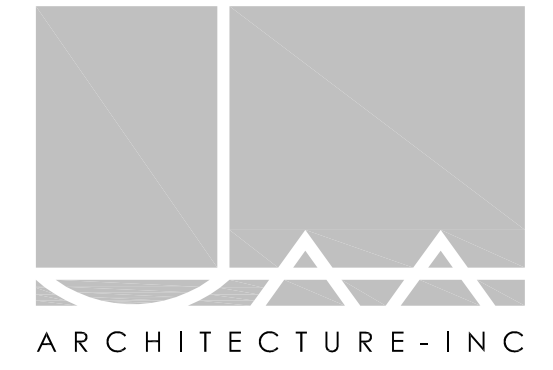
**A3**  
 PERMIT SET



2 LEFT SIDE ELEVATION  
A4 1/4" = 1'-0"



1 RIGHT SIDE ELEVATION  
A4 1/4" = 1'-0"



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NEW CONSTRUCTION  
PLAN OPTION "A" RIGHT RISER  
11479 OAKFIELD CT  
LOT #1  
JACKSONVILLE, FLORIDA

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DATE: 07.18.2022

PROJECT # 19-123.17

A4

PERMIT SET



4 REAR ELEVATION  
A5 1/4" = 1'-0"



2 FRONT ELEVATION "B" - DOUBLE GABLE  
A5 1/4" = 1'-0"



3 FRONT ELEVATION "C" - TRIPLE GABLE  
A5 1/4" = 1'-0"



1 FRONT ELEVATION "A" - HIP ROOF  
A5 1/4" = 1'-0"



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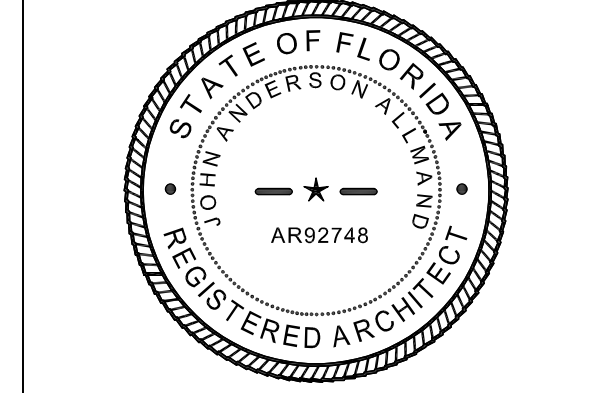
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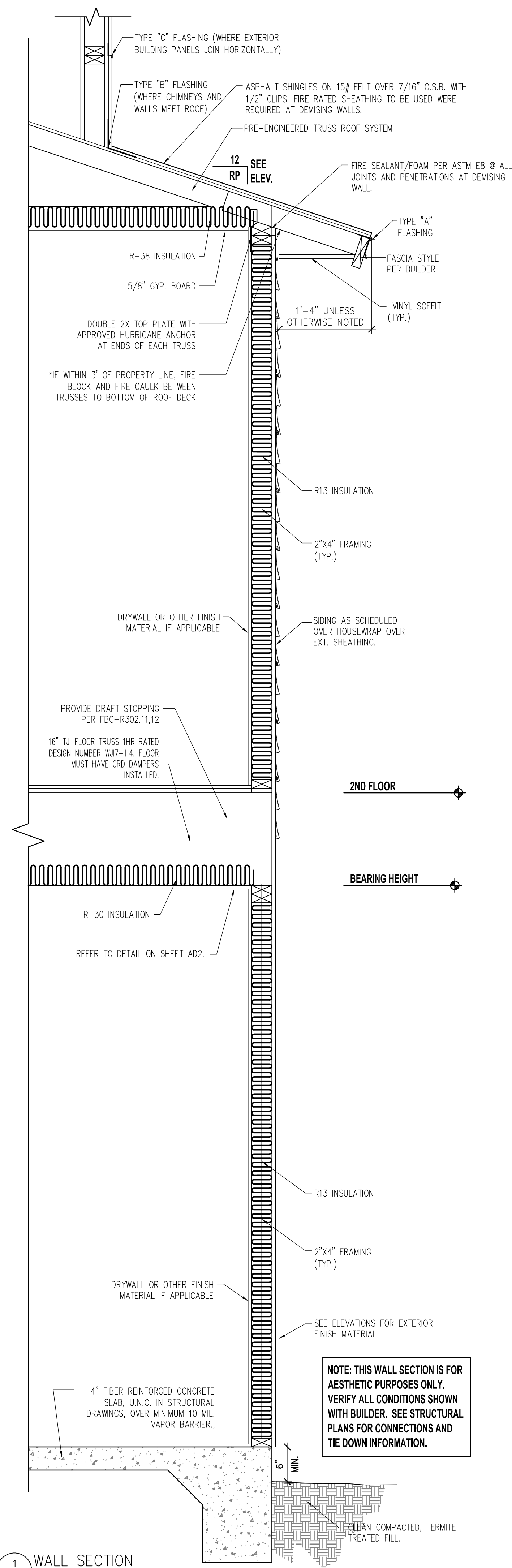
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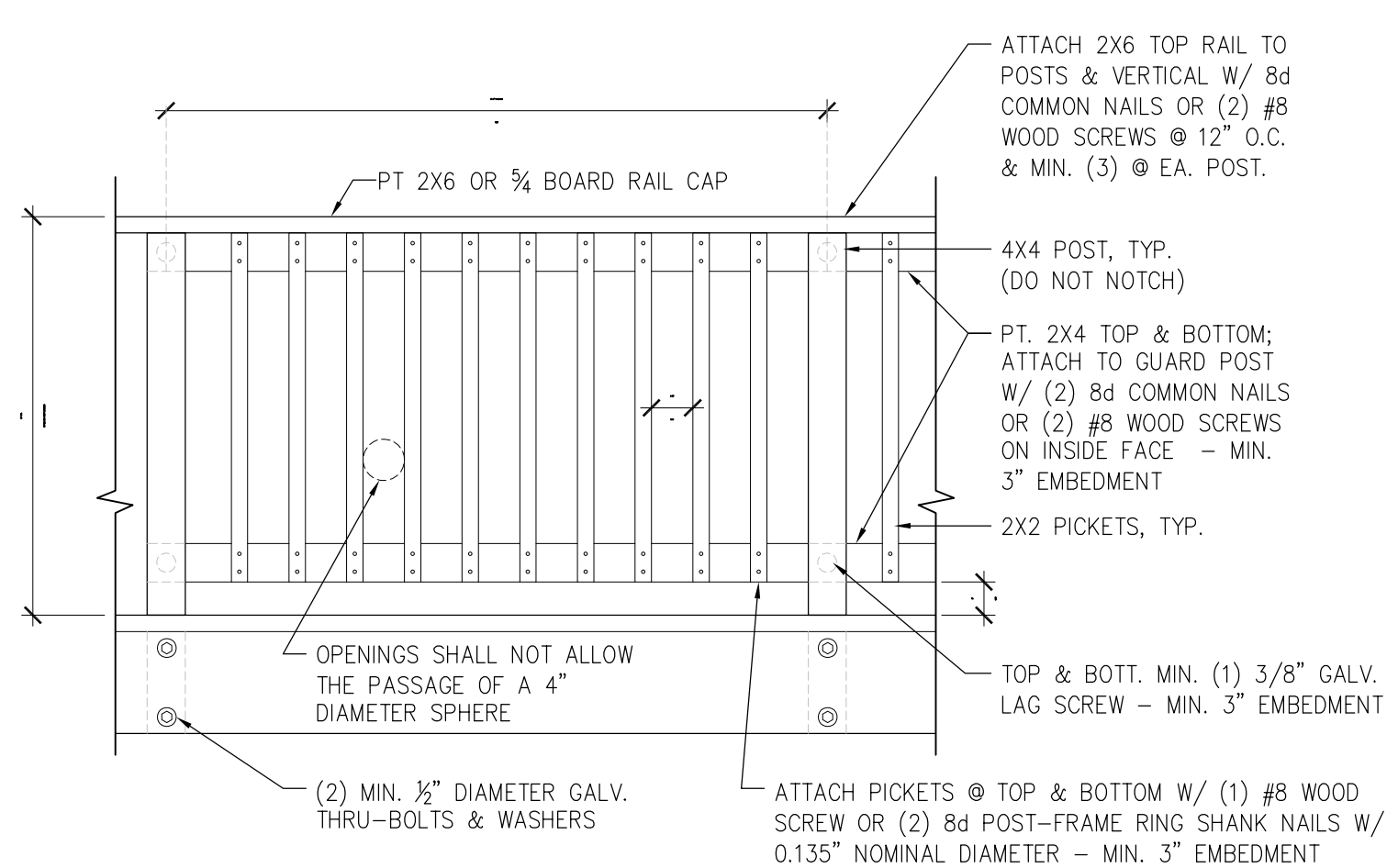
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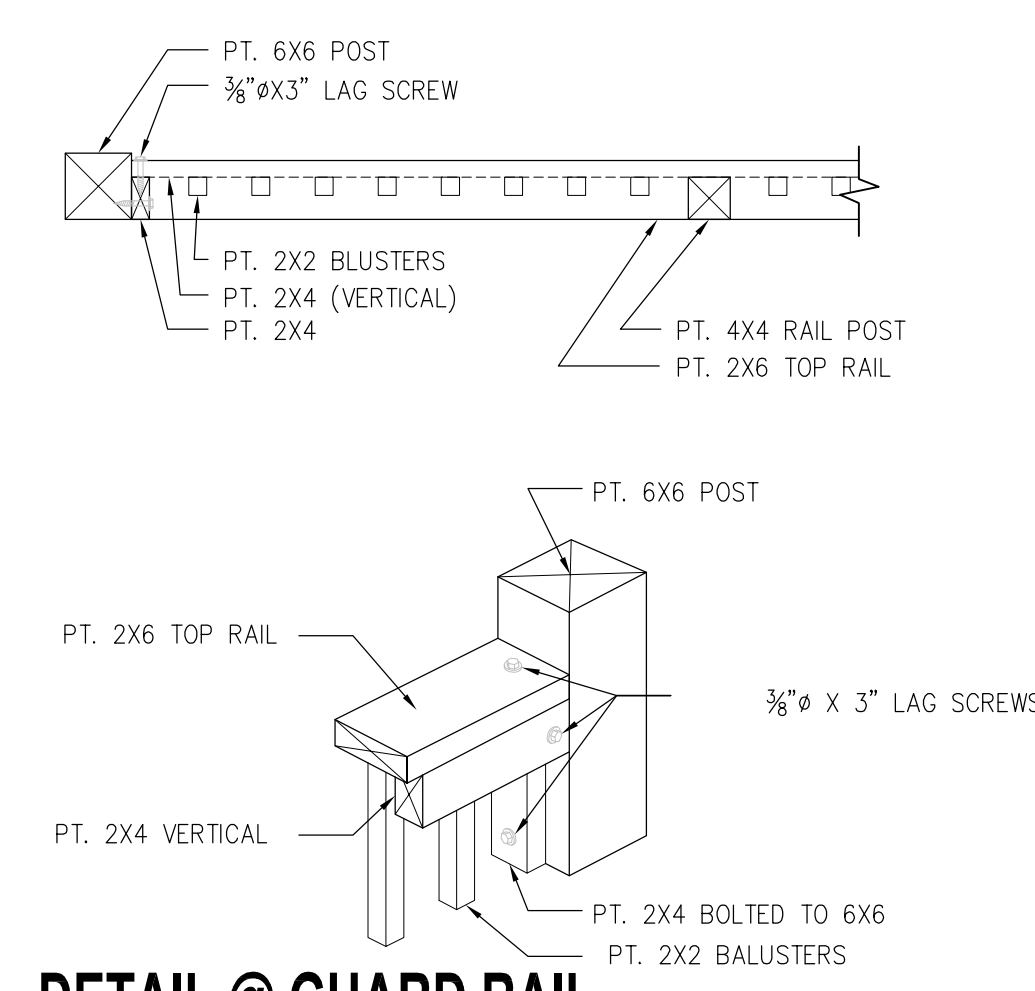
A5  
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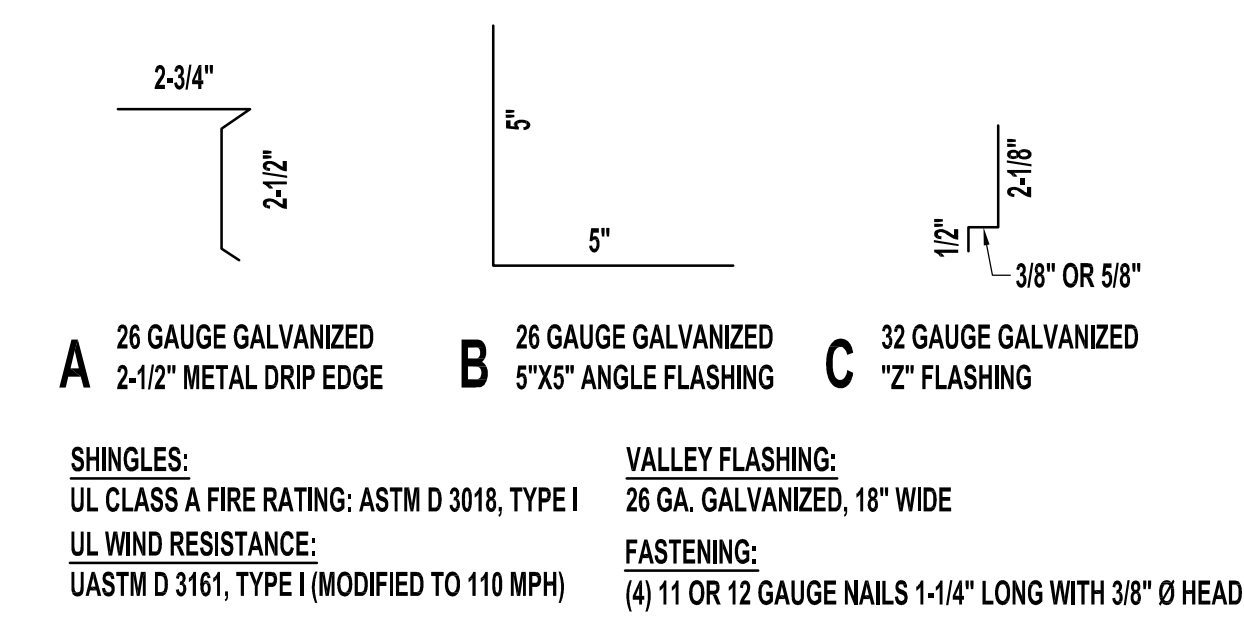
1 WALL SECTION  
AD1 SCALE: 1" = 1'-0"



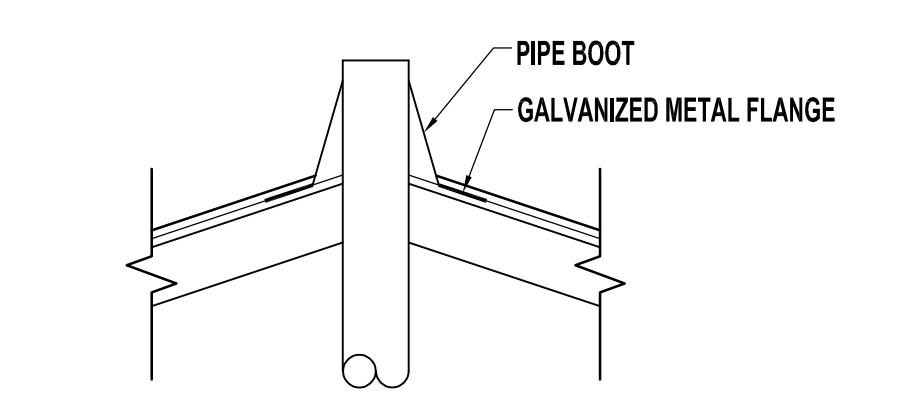
**GUARD RAIL DETAIL**  
NOT TO SCALE



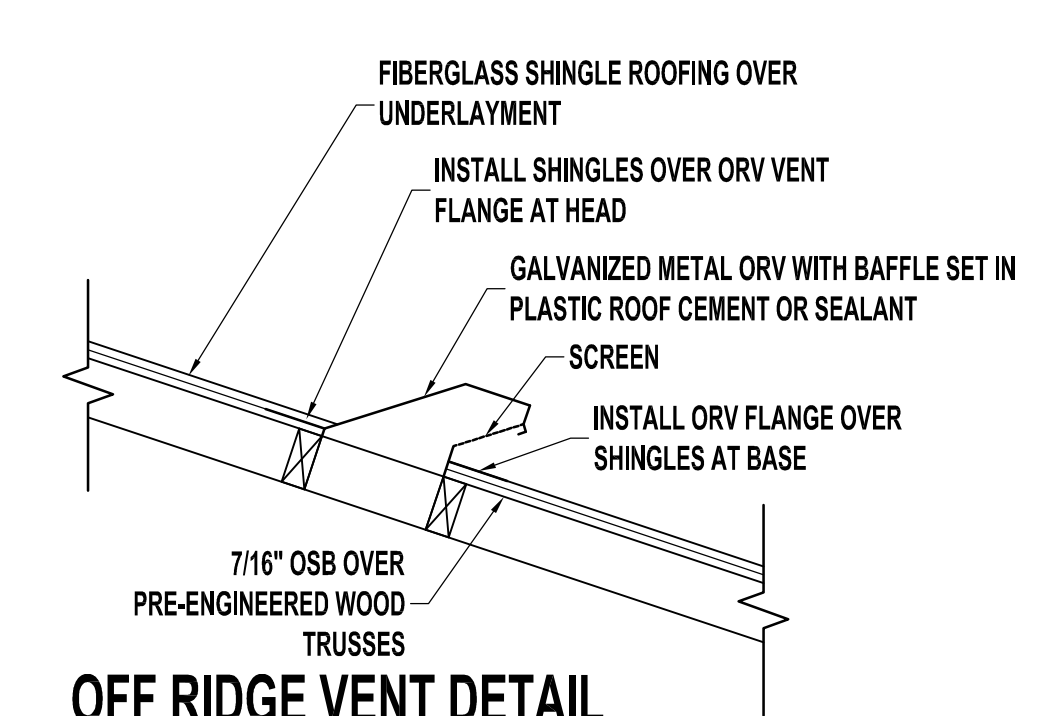
**DETAIL @ GUARD RAIL**  
NOT TO SCALE



**FLASHING DETAILS AND SHINGLE INFORMATION**  
SCALE: 3" = 1'-0"



**PLUMBING STACK FLASHING DETAIL**  
NOT TO SCALE



**OFF RIDGE VENT DETAIL**  
NOT TO SCALE

**GENERAL NOTES:**  
 1. PARKING BUMPER (IF REQUIRED) MUST BE INSTALLED BEFORE C.O.  
 2. 5/8" TYPE "X" GYP. BOARD REQUIRED ON CEILING OF GARAGE WHERE HABITAT SPACE IS ABOVE PER FBC R302.6.  
 3. HVAC PENETRATING RATED ASSEMBLIES TO COMPLY WITH FBC R302.5.  
 4. UNDER STAIR PROTECTION TO COMPLY WITH FBC R302.7 (IF ACCESSIBLE).

**GUARDRAIL NOTE:**  
 DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R312.1 FOR GUARDRAIL REQUIREMENTS AND OPENINGS.  
 \*HEIGHT SHALL BE 36" MIN. WHEN PORCH, BALCONY OR RAISED FLOOR EXCEEDS 30" ABOVE FLOOR OR GRADE AND SHALL BE 34" ON OPEN SIDES OF STAIRS THAT EXCEED 30" OR MORE ABOVE FLOOR OR GRADE.  
 \*OPENINGS SHALL HAVE INTERMEDIATE RAILS OR CLOSURES WHICH DO NOT ALLOW PASSAGE OF SPHERE 4" OR GREATER IN DIAMETER. REQUIRED GUARD RAILS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW SPHERE GREATER THAN 4-3/8" IN DIAMETER TO PASS THROUGH.

**HANDRAIL NOTE:**  
 DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.8 FOR HANDRAIL HEIGHT CONTINUITY AND SIZE.  
 \*HEIGHT: MUST BE BETWEEN 34-38" MEASURED VERTICALLY FROM SLOPED PLANE.  
 \*CONTINUITY: HANDRAIL MUST BE CONTINUOUS THROUGH FULL LENGTH OF FLIGHT FROM POINT DIRECTLY ABOVE HIGHEST RISER TO POINT DIRECTLY ABOVE LOWEST RISER. HANDRAIL ENDS SHOULD TERMINATE IN NEWEL POSTS OR SAFETY TERMINAL OR RETURN TO WALL. HANDRAILS SHALL BE ALLOWED TO BE INTERRUPTED BY NEWEL POSTS.  
 \*SIZE: SHALL HAVE OUTSIDE DIAMETER BETWEEN 1-1/4"-2" IF CIRCULAR. SHALL HAVE BETWEEN 4-6" PERIMETER IF NOT CIRCULAR.

**STAIR NOTE:**  
 DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.5 FOR TREAD DEPTH, RISER HEIGHTS AND STAIR WIDTHS.  
 \*RISERS: 7-3/4" MAXIMUM WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN HIGHEST AND LOWEST RISER.  
 TREADS: 10" MINIMUM DEPTH WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN LONGEST AND SHORTEST TREAD. THE SUM OF 2 TREADS AND 1 RISER TO BE NOT LESS THAN 24" AND NOT MORE THAN 25".  
 \*WIDTH: 36" MINIMUM CLEAR WIDTH ABOVE HANDRAIL AND 31-1/2" BELOW HANDRAIL.

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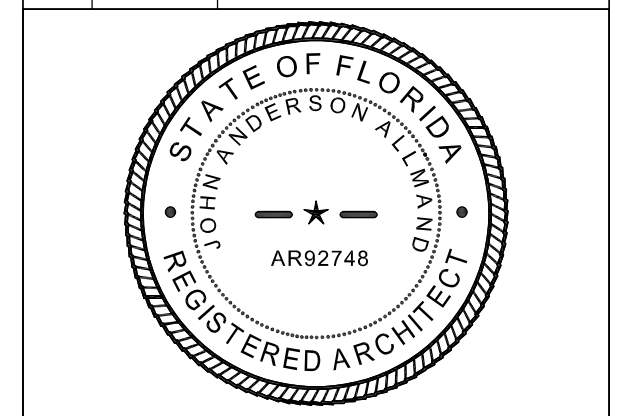
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**NEW CONSTRUCTION**  
**PLAN OPTION "A" RIGHT RISER**  
**11479 OAKFIELD CT**  
**LOT #1**  
 JACKSONVILLE, FLORIDA

ARCHITECT: JOHN A. ALLMAND  
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**AD1**  
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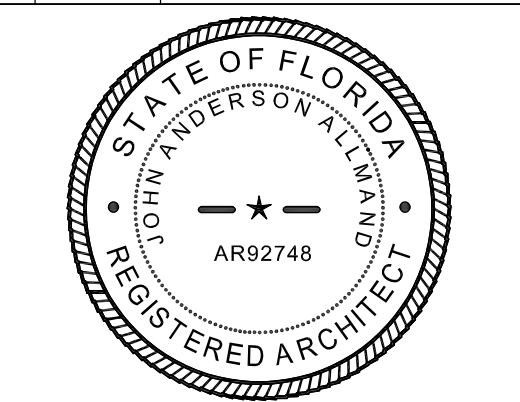
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NEW CONSTRUCTION  
 PLAN OPTION "A" RIGHT RISER  
 11479 OAKFIELD CT  
 LOT #1  
 JACKSONVILLE, FLORIDA

ARCHITECT: JOHN A. ALLMAND  
 LICENCE #: AR92748

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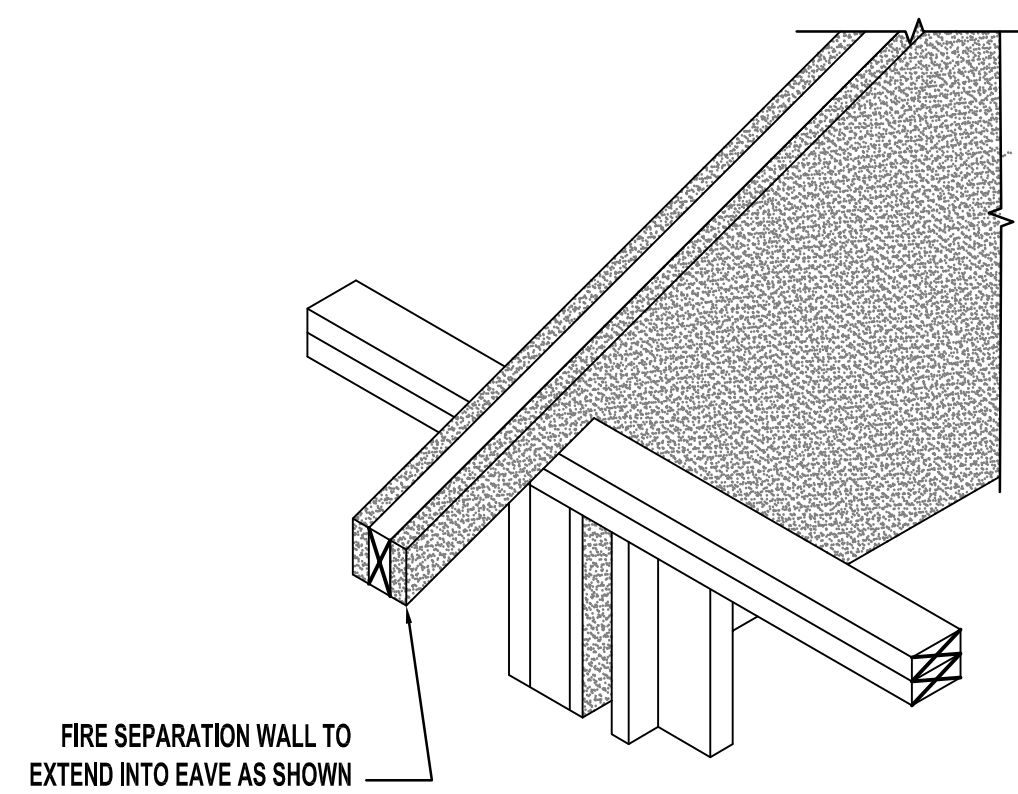
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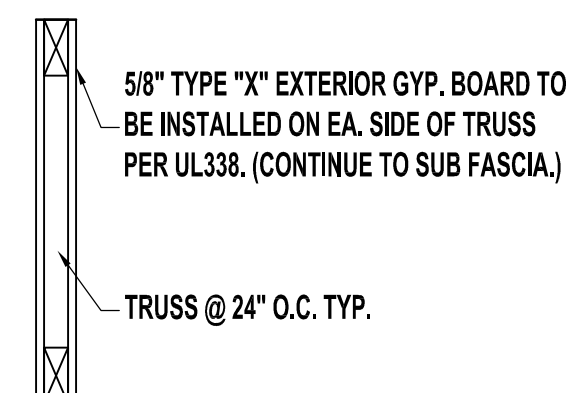
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PROJECT # 19-123.17

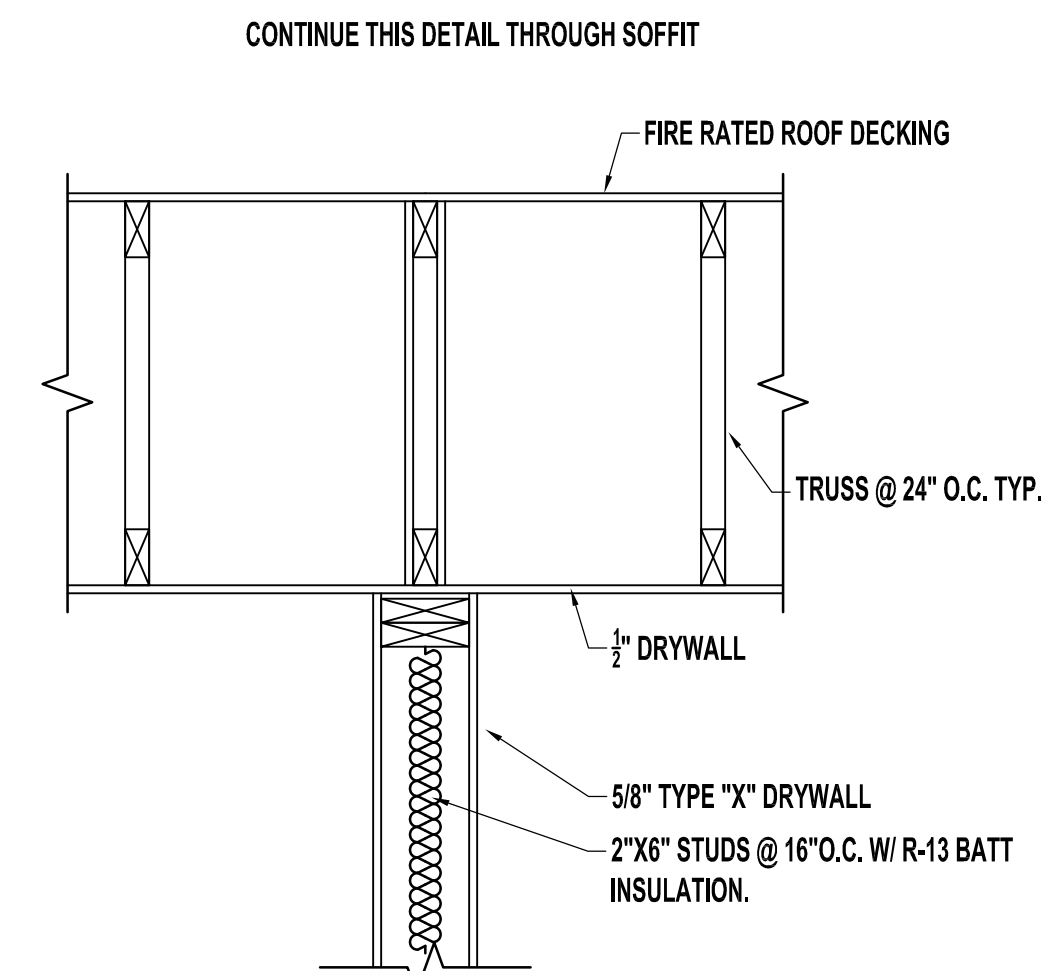
**AD2**  
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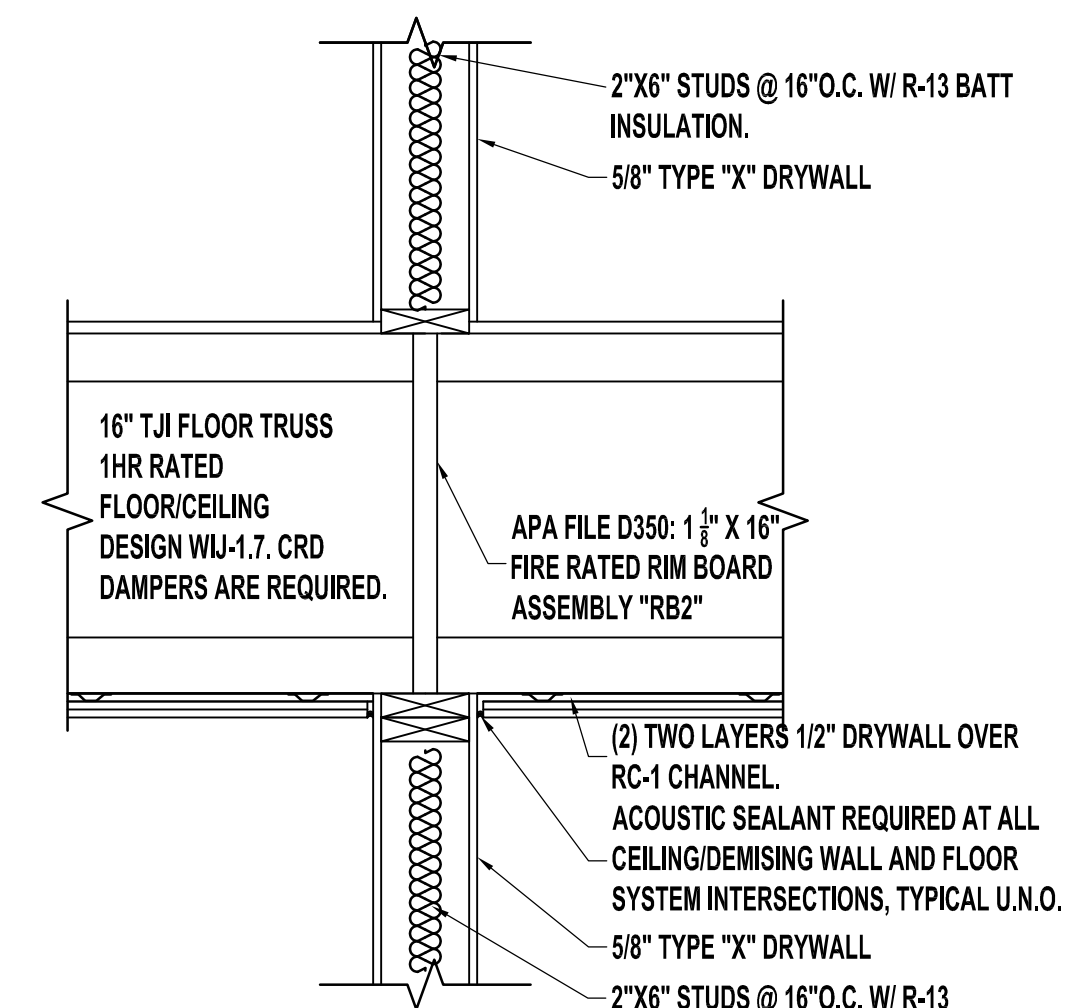
**1HR FIRE RATED WALL AT SOFFIT-UL388**  
 SCALE: N.T.S.



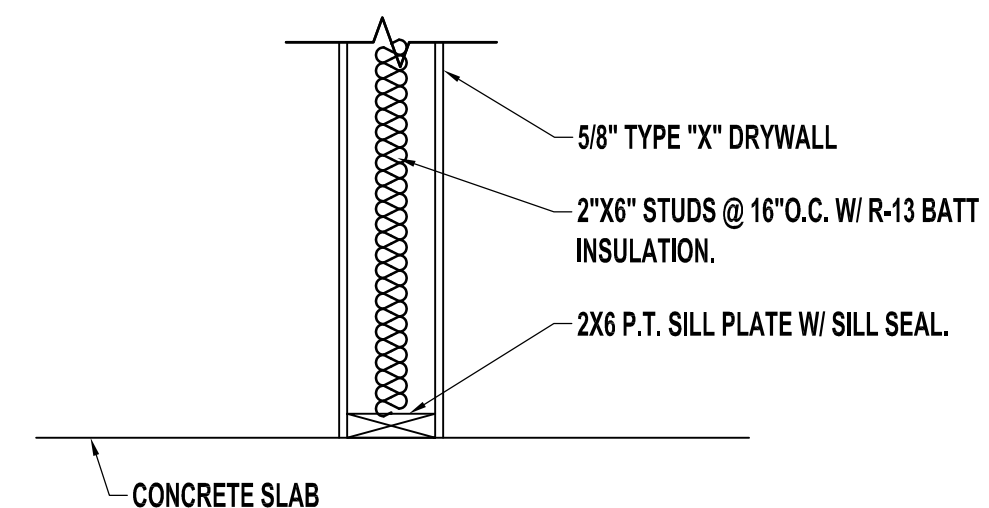
**1HR TYPICAL ATTIC WALL @ TRUSS**  
 SCALE: 1" = 1'-0"



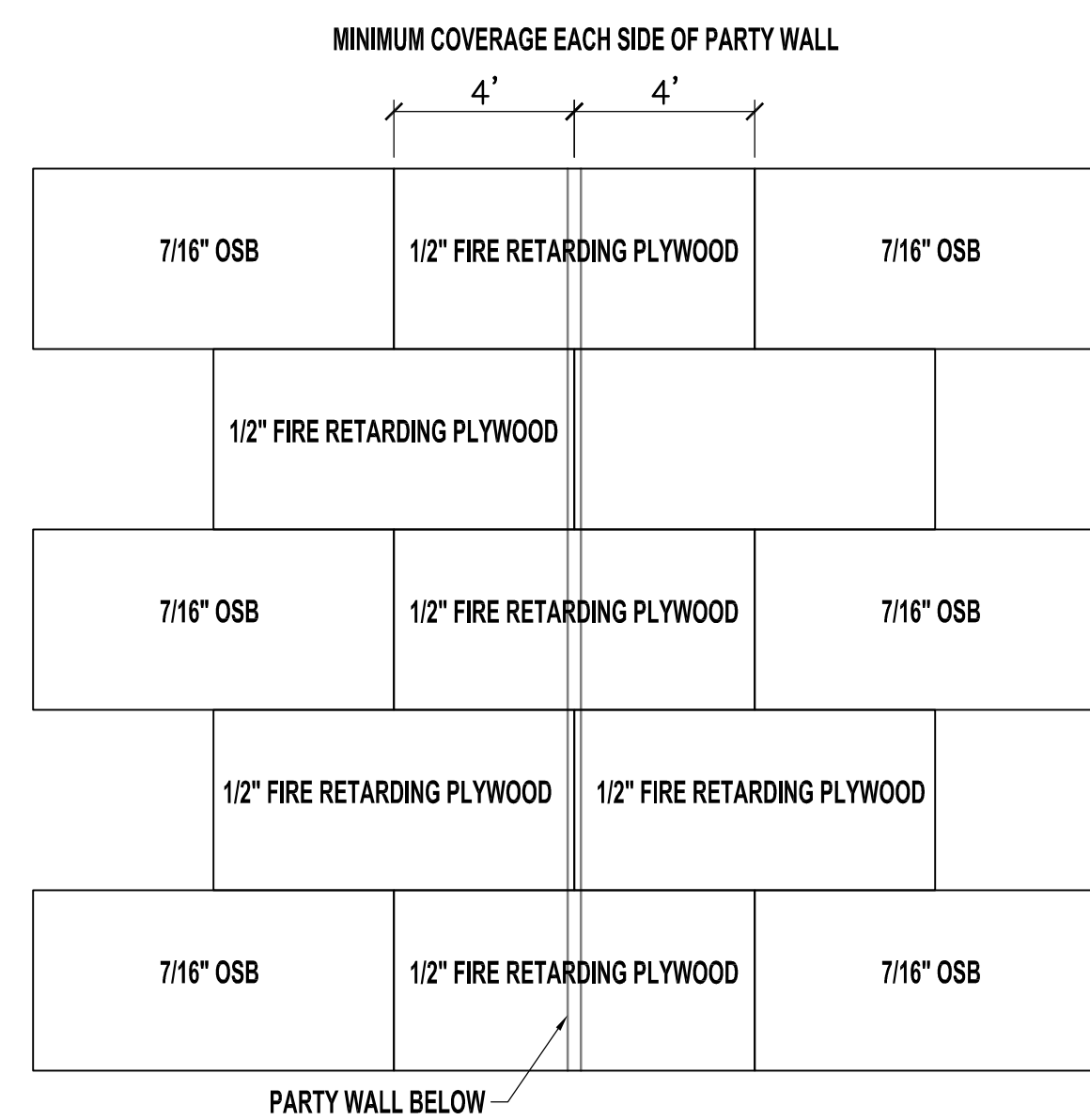
**1HR TYPICAL ATTIC PARTY WALL HEAD - DESIGN # WS6-1.4**  
 SCALE: 1" = 1'-0"



**1HR TYPICAL PARTY WALL 2ND FLOOR DESIGN # WS6-1.4**  
 SCALE: 1" = 1'-0"



**1HR TYPICAL PARTY WALL TO SLAB DESIGN # WS6-1.4**  
 SCALE: 1" = 1'-0"



**ROOF SHEATHING DETAIL AT PARTY WALL**  
 SCALE: 1/4" = 1'-0"

**R703.4 FLASHING:**

APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED ANTI-CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

1. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
2. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
3. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
4. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD FRAMED CONSTRUCTION.
5. AT ALL WALL AND ROOF INTERSECTIONS.
6. AT BUILT IN GUTTERS.

**NOTE:**

1. WINDOW INSTALLATION AND FLASHING DETAILS ARE CONSISTENT WITH ASTM E 2112 METHOD A-1 EXCEPT SELF-ADHERING FLASHINGS ARE USED
2. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE COMPATIBILITY OF ALL PRODUCTS INCLUDING HOUSEWRAP, SEALANTS & SELF-ADHERING FLASHING MATERIALS USED DURING CONSTRUCTION.
3. INSTALL ALL MATERIALS PER MANUFACTURERS WRITTEN SPECIFICATIONS

**WARNING:** SEALANTS/FLASHINGS MAY REACT ADVERSELY IF NOT COMPATIBLE.



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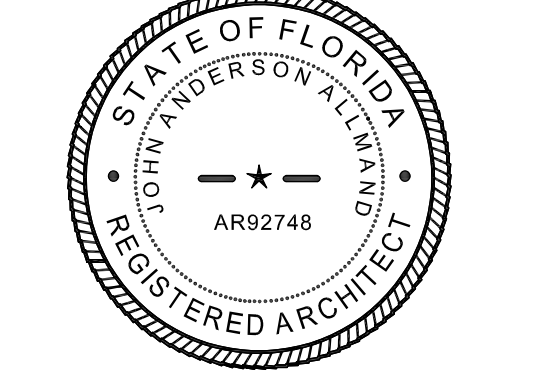
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ARCHITECT: JOHN A. ALLMAND  
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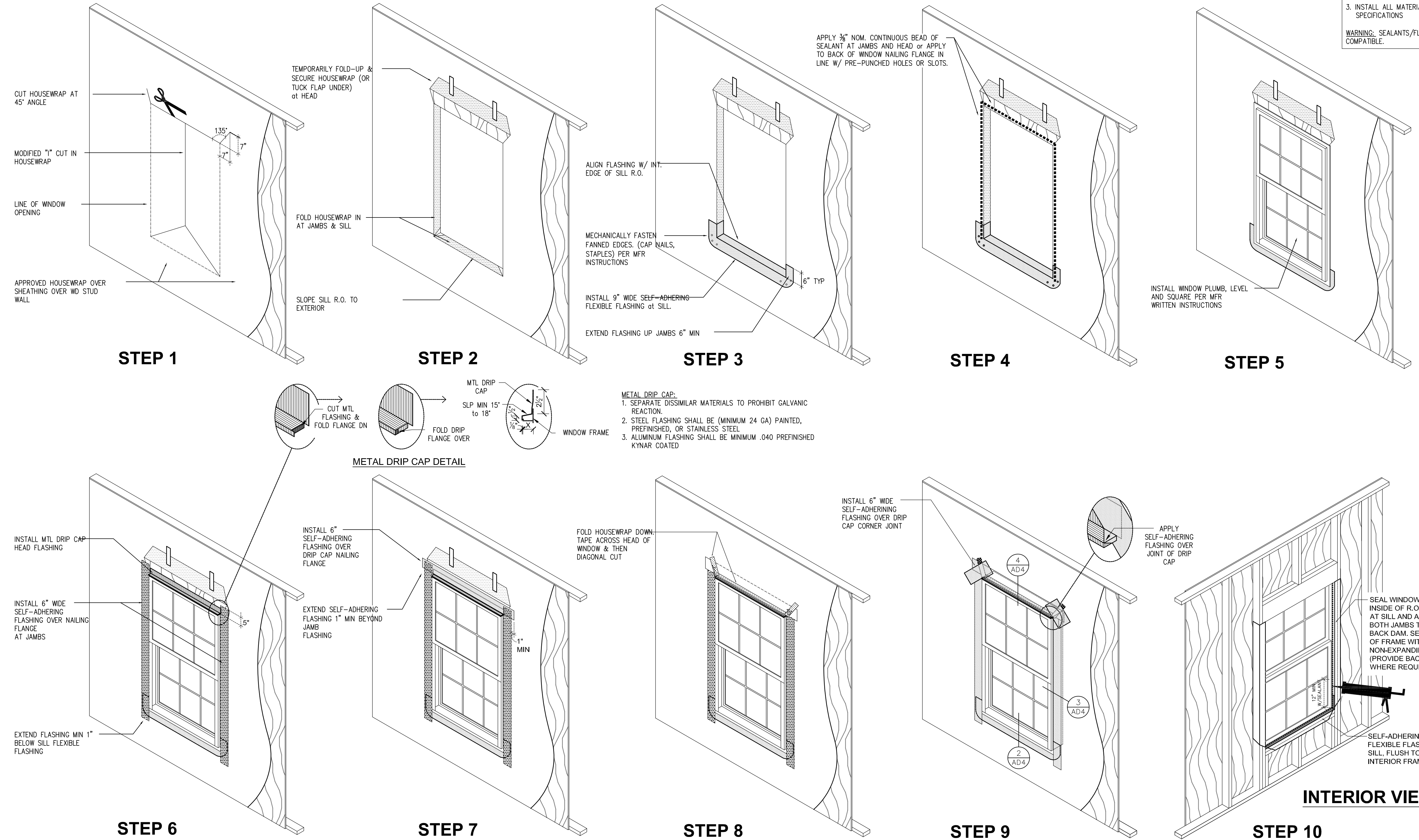
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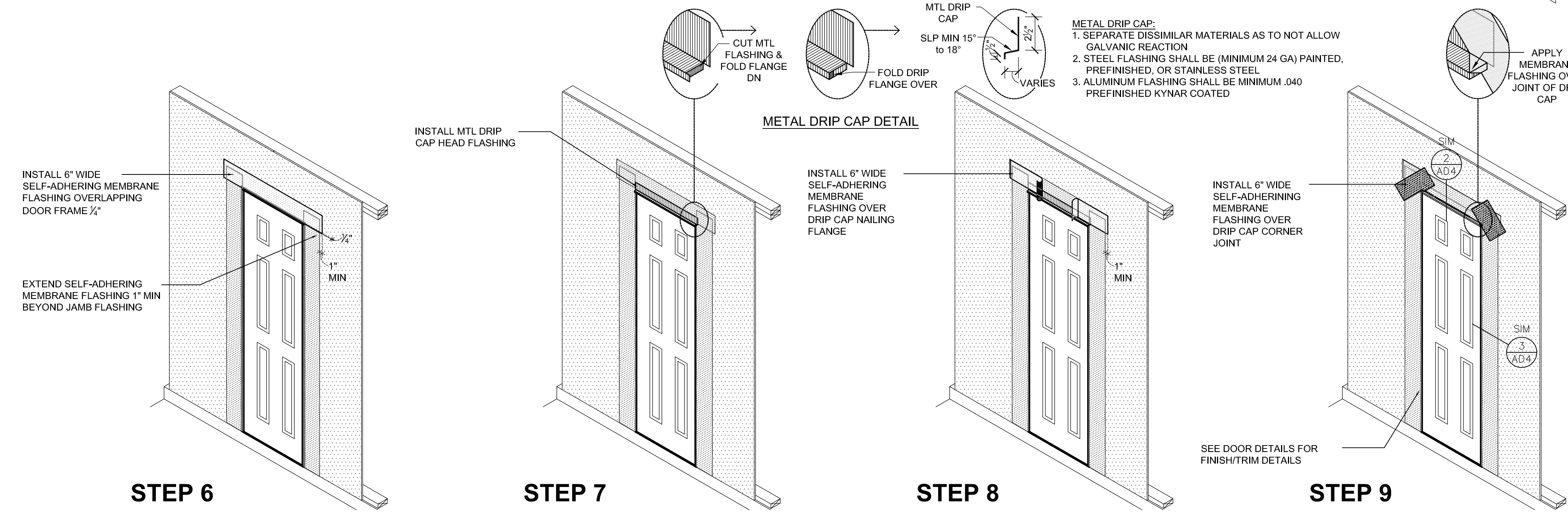
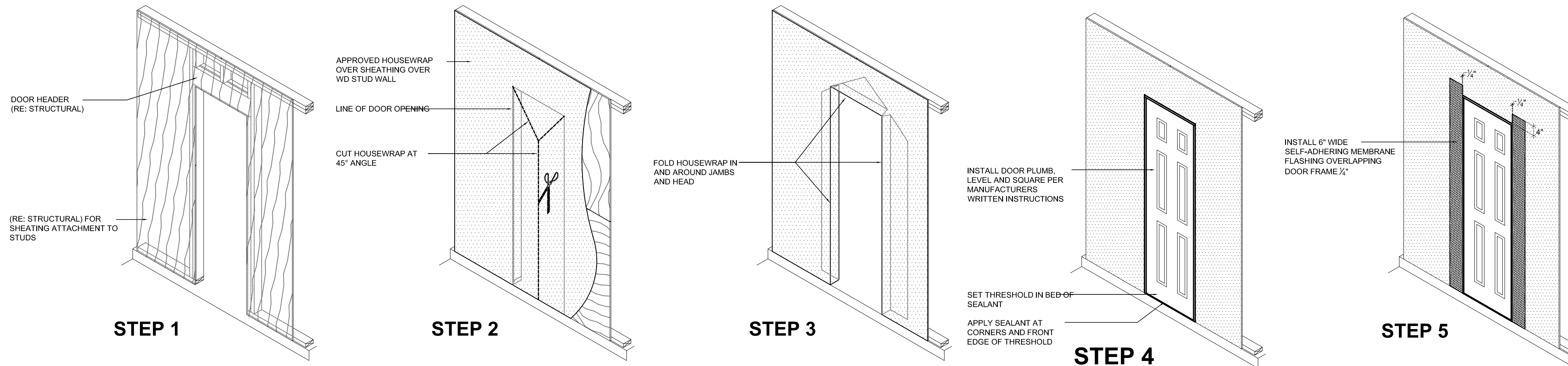
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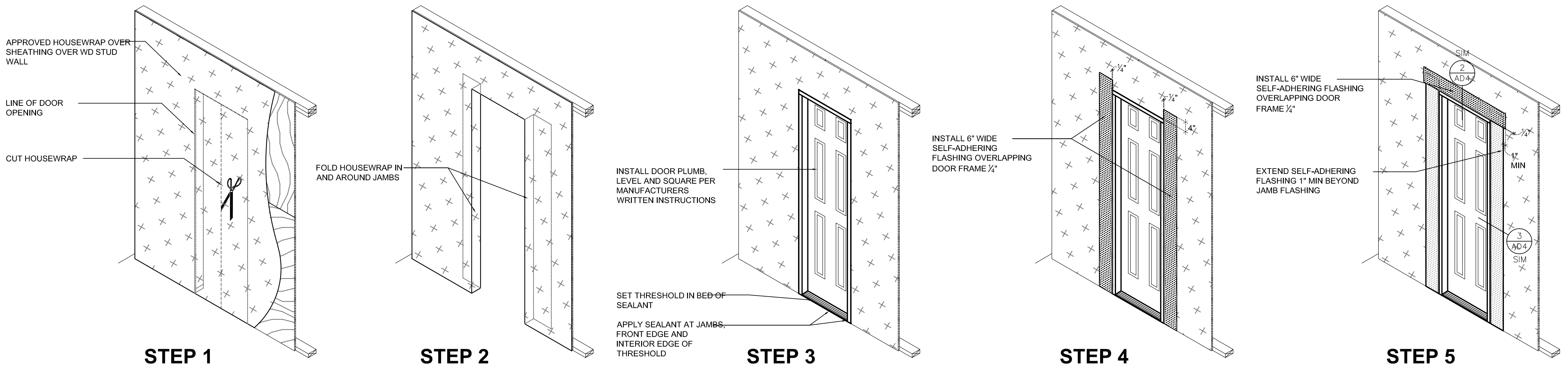
WINDOW FLASHING INSTALLATION DETAILS

NTS



EXTERIOR DOOR TAPING/FLASHING INSTALLATION DETAILS – OUTSWING W/ EXPOSED OPENING

NTS



EXTERIOR DOOR TAPING/FLASHING INSTALLATION DETAILS – INSWING W/ COVERED OPENING

NTS

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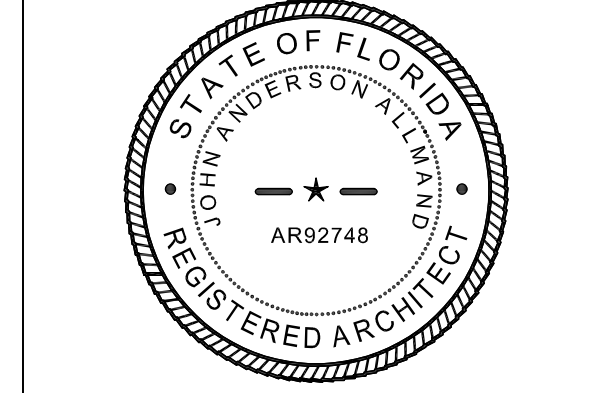
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**R302.5.1 OPENING PROTECTION:**

OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" (35 MM) IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS. NOTE: DOOR TO BE SELF-CLOSING.

**R302.11 FIREBLOCKING:**

IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL & HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
  - 1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
  - 1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 mm).
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
6. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

**SECTION R302.7 UNDER-STAIR PROTECTION**

ENCLOSED ACCESSIBLE SPACE UNDER THE STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 mm) GYPSUM BOARD.

**SECTION R302.12 DRAFTSTOPPING**

IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USEABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET (92.9 m<sup>2</sup>). DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE AND A CEILING MEMBRANE BELOW, DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:

1. CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
2. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB OR PERFORATED MEMBERS.

**SECTION R302.12.1 MATERIALS**

DRAFTSTOPPING MATERIALS SHALL NOT BE LESS THAN 1/2-INCH (12.7 mm) GYPSUM BOARD, 3/8-INCH (9.5 mm) WOOD STRUCTURAL PANELS OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. DRAFTSTOPPING SHALL BE INSTALLED PARALLEL TO THE FLOOR FRAMING MEMBERS UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. THE INTEGRITY OF THE DRAFTSTOPS SHALL BE MAINTAINED.

**SECTION R310 EMERGENCY ESCAPE & RESCUE OPENINGS:**

**R310.1 EMERGENCY ESCAPE AND RESCUE REQUIRED.** BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, EMERGENCY EGRESS AND RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 mm) ABOVE THE FLOOR. WHERE A DOOR OPENING HAVING A THRESHOLD BELOW THE ADJACENT GROUND ELEVATION SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A BULKHEAD ENCLOSURE, THE BULKHEAD ENCLOSURE SHALL COMPLY WITH SECTION R310.3.

THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF EMERGENCY ESCAPE AND RESCUE OPENINGS FROM THE INSIDE. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

**EXCEPTIONS:**

1. BASEMENTS USED ONLY TO HOUSE MECHANICAL EQUIPMENT AND NOT EXCEEDING TOTAL FLOOR AREA OF 200 SQUARE FEET (18.58 m<sup>2</sup>).
2. THE EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE PERMITTED TO OPEN INTO A SCREEN ENCLOSURE, OPEN TO THE ATMOSPHERE, WHERE A SCREEN DOOR IS PROVIDED LEADING AWAY FROM THE RESIDENCE.

**R310.1.1. MINIMUM OPENING AREA**

ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 m<sup>2</sup>).

**EXCEPTION:**

GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (0.465 m<sup>2</sup>)

**R310.1.2. MINIMUM OPENING HEIGHT**

THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610 mm).

**R310.1.3. MINIMUM OPENING WIDTH**

THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508 MM).

**R310.1.4. OPERATIONAL CONSTRAINTS**

EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE.

**R1003.9 TERMINATION:**

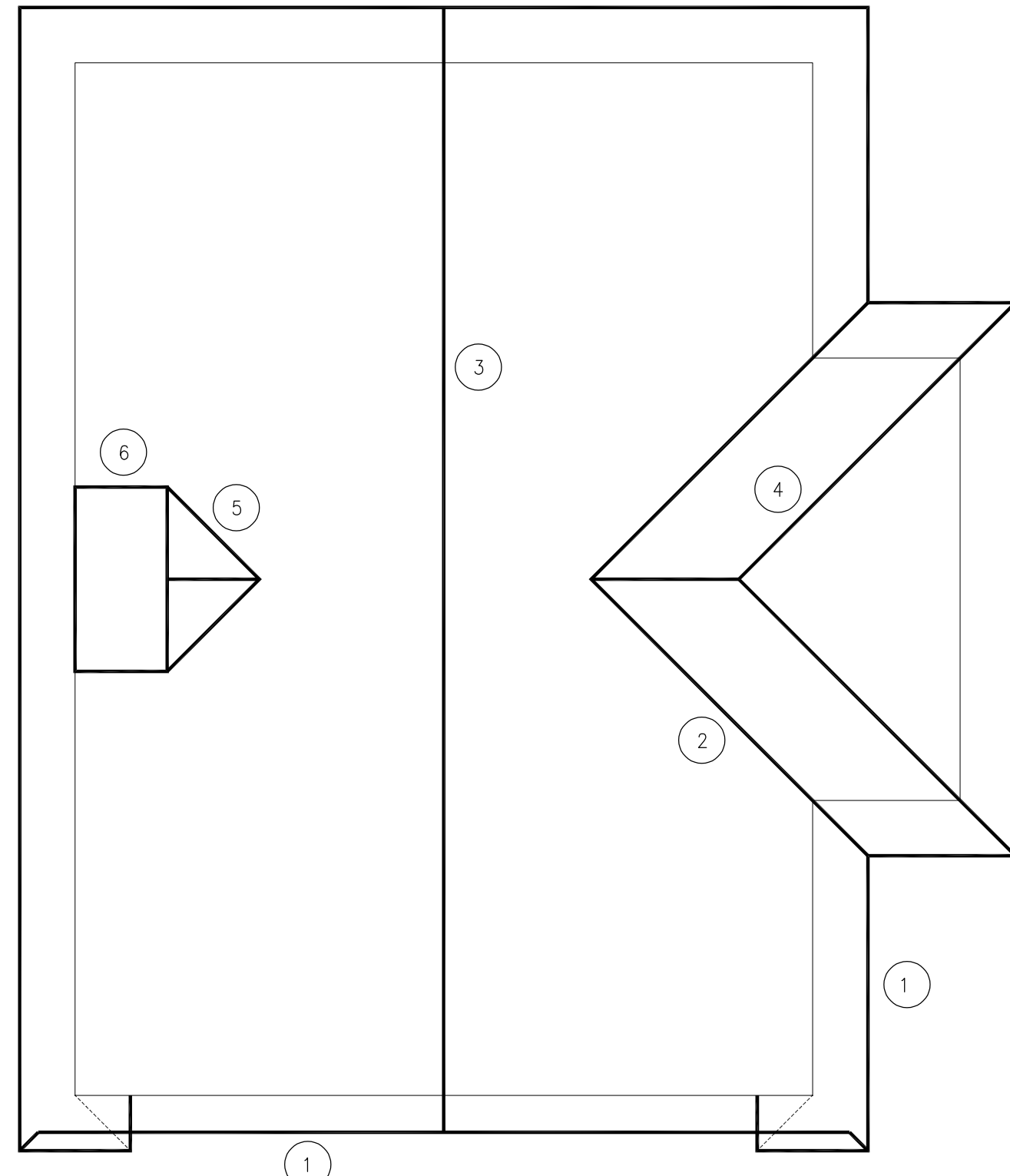
CHIMNEYS SHALL EXTEND AT LEAST 2 FEET (610 mm) HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FEET (3048 mm), BUT SHALL NOT BE LESS THAN 3 FEET (914 mm) ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.

**PER FBC-R-E3902 AFCI PROTECTION REQUIRED**

ALL 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE.

**PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED**

BATHROOMS, GARAGES, BOATHOUSES & ACCESSORY STRUCTURES NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE, WORK AND SIMILAR USES. OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHEN COUNTERTOPS. OUTLETS WITHIN 6 FEET OF LAUNDRY, UTILITY OR WET SINKS. BALCONY, DECK OR PORCH GREATER THAN 20 S.F. ONE AT THE FRONT AND BACK OF THE DWELLING AND AT THE CONDENSER UNITS.



**1 DRIP EDGE FLASHING:**

A DRIP EDGE SHALL BE PROVIDED AT EAVES AND GABLES OF TILED ROOFS, AND SHALL OVERLAP A MINIMUM OF 3" (76 mm). EAVE DRIP EDGES SHALL EXTEND 1/2" (13 mm) BELOW THE SHEATHING, AND EXTEND BACK ON THE ROOF FOR A MINIMUM OF 2 INCHES (51 mm). THE DRIP EDGE SHALL BE MECHANICALLY FASTENED A MAXIMUM OF 6 (152 mm) INCHES O.C.

THE DRIP EDGE AT EAVES SHALL BE INSTALLED OVER THE UNDERLAYMENT. THERE SHALL BE A MINIMUM 4 INCH (102 mm) WIDTH OF ROOF CEMENT INSTALLED OVER THE DRIP EDGE FLANGE.

WHERE THE BASIC WIND SPEED PER FIGURE R301.2(4) IS 110 mph (177 km/h) OR GREATER OR THE MEAN ROOF HEIGHT EXCEEDS 33 FEET (10058 mm), DRIP EDGES SHALL BE MECHANICALLY FASTENED A MAXIMUM OF 4 INCHES (102 mm) ON CENTER.

INSTALL A MINIMUM 8" WIDE ANTI-PONDING METAL FLASHING TO ENSURE POSITIVE DRAINAGE OVER FASCIA/STARTER STRIP. NAIL TOP EDGE OF FLANGE ONTO ROOF.

THE UNDERLAYMENT SHALL CONFORM WITH ASTM D 226, TYPE 1 OR TYPE 11, OR ASTM D 4869, TYPE 1 OR TYPE 11. THE UNDERLAYMENT SHALL BE INSTALLED IN WATER-SHEDDING FASHION, STARTING WITH THE EAVE EDGE AND ROLLED HORIZONTALLY. UNDERLAYMENT SHALL OVERLAP A MINIMUM OF (19) INCHES AND BE MECHANICALLY FASTENED AT (36) INCHES O.C. MAXIMUM.

**2 VALLEY FLASHING:**

VALLEY LININGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, BEFORE APPLYING TILES. VALLEY LININGS OF THE FOLLOWING TYPES SHALL BE PERMITTED:

1. FOR CLOSED VALLEYS: INSTALL PREFORMED CLOSED VALLEY METAL - EITHER A MIN. WIDTH OF 16" (24" STRETCH OUT) W/ A MIN. 2 1/2" HIGH CENTER DIVERTER AND A MIN. 1" METAL EDGE RETURNS OR A RIBBED DESIGN W/ 1" CENTER DIVERTER, A MIN. (4) 3/8" RIBS SPACED 3 1/2" W/ 3 3/4" FLANGE. LAP JOINTS A MIN. 6" AND APPLY A COATING OR SEPARATOR SHEET.
2. FOR OPEN VALLEYS: INSTALL PREFORMED OPEN VALLEY WITH A MIN. OF 16" (24" STRETCH OUT) WITH A MIN. OF 1" HIGH TWIN CENTER DIVERTER AND A MIN. 1" METAL EDGE RETURNS. LAP JOINTS A MIN. 6" AND APPLY A COATING OR SEPARATOR SHEET.
3. WHEN USING VALLEY METAL WITH RETURNS:
  - A. SECURE W/ CLIPS FABRICATED FROM SIMILAR OR COMPATIBLE MATERIAL. CLIP 1" METAL EDGE RETURNS TO BATTEN STRIP W/ ROOFING NAIL THROUGH METAL STRIP.
  - B. TRIM METAL AT ALL VALLEY/RIDGE JUNCTIONS, ENSURING WATER SHEDDING CAPABILITIES ONTO THE VALLEY.
  - C. INSTALL LEAD SOAKER AT ALL VALLEY/RIDGE JUNCTIONS. TURN LEAD UP A MIN. OF 1" TO CREATE A WATER DIVERTER, ENSURING WATER SHEDDING CAPABILITIES ONTO THE VALLEY.
  - D. OUTER EDGE OF THE VALLEY METAL SHALL OVERLAP DECK FLANGE OF DRIP EDGE A MIN. OF 1". CENTER OF VALLEY FLASHING SHALL EXTEND A MIN. OF 2" BEYOND DRIP EDGE.

**3 RIDGE FLASHING:**

THE UNDERLAYMENT SHALL BE INSTALLED IN WATER-SHEDDING FASHION. THE LAST LAYER APPLIED AT THE RIDGE SHALL BE FOLDED OVER THE RIDGE AND MECHANICALLY FASTENED, AT (36) INCHES O.C. MAXIMUM TO THE OPPOSING SIDE OF THE ROOF. REPEAT THE PROCEDURE FOR THE OPPOSING SIDE OF THE ROOF. WHEN COMPLETED, THERE WILL BE TWO LAYERS OF UNDERLAYMENT OVERLAPPING THE RIDGE.

**4 HIP FLASHING:**

THE UNDERLAYMENT SHALL BE INSTALLED IN WATER-SHEDDING FASHION. AT THE HIP LINE, FOLD THE UNDERLAYMENT OVER THE HIP AND MECHANICALLY FASTEN, AT (36) INCHES O.C. MAXIMUM TO THE OPPOSING SIDE OF THE ROOF. REPEAT THE PROCEDURE FOR THE OPPOSING SIDE OF THE ROOF. WHEN COMPLETED, THERE WILL BE TWO LAYERS OF UNDERLAYMENT OVERLAPPING THE HIP.

**5 CRICKETS AND SADDLES FLASHING:**

A CRICKET OR SADDLE SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY CHIMNEY GREATER THAN (30) INCHES (762 mm) WIDE. CRICKET OR SADDLE COVERINGS SHALL BE SHEET METAL OR OF THE SAME MATERIAL AS THE ROOF COVERING.

THE RIDGE AND VALLEY FLASHING OF CRICKETS OR SADDLES SHALL BE THE SAME AS THE RIDGE AND VALLEY FLASHING ON THE MAIN ROOF.

**6 BASE AND COUNTER FLASHING:**

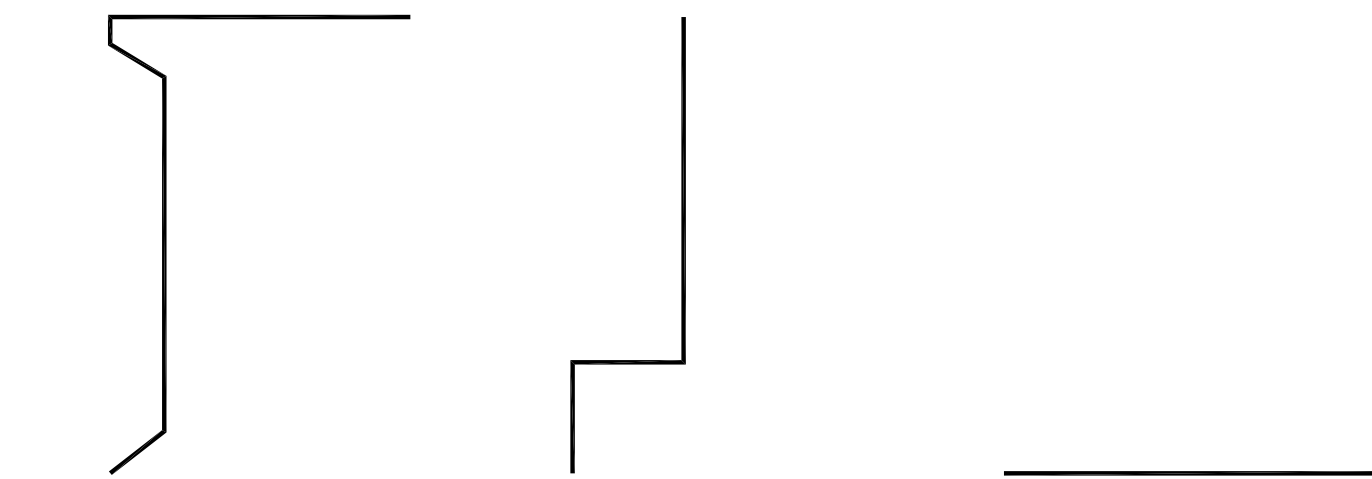
BASE AND COUNTER FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, OR A CONTINUOUS METAL - MIN. 4 INCH BY 4 INCH "L" FLASHING SHALL BE SET IN APPROVED FLASHING CEMENT AND SET FLUSH TO THE BASE OF THE WALL, AND OVER THE UNDERLAYMENT. BOTH HORIZONTAL AND VERTICAL METAL FLANGES SHALL BE FASTENED 6 INCHES (152 mm) ON CENTER WITH APPROVED FASTENERS.

ALL LAPS SHALL BE A MIN. OF 4 INCHES (102 mm), FULL SEALED IN APPROVED FLASHING CEMENT. FLASHING SHALL START AT THE LOWER PORTION OF THE ROOF TO ENSURE WATER-SHEDDING CAPABILITIES OF ALL METAL LAPS. THE ENTIRE EDGE OF THE HORIZONTAL FLANGE SHALL BE SEALED, COVERING ALL NAIL PENETRATIONS WITH APPROVED FLASHING CEMENT AND MEMBRANE. SHINGLES SHALL OVERLAP THE HORIZONTAL FLANGE, AND SHALL BE SET IN APPROVED FLASHING CEMENT.

BASE FLASHING SHALL BE OF EITHER CORROSION-RESISTANT METAL PROVIDED IN SECTION R905.2.8.1 OR MINERAL SURFACE ROLL ROOFING, WEIGHING A MIN. OF (77) POUNDS PER (100) SQUARE FEET (3.76 kg/M<sup>2</sup>). COUNTER FLASHING SHALL BE CORROSION-RESISTANT METAL WITH A MIN. THICKNESS PROVIDED IN TABLE 903.1 IN THE FLORIDA BUILDING CODE 2015 5TH EDITION.

**NOTE:**

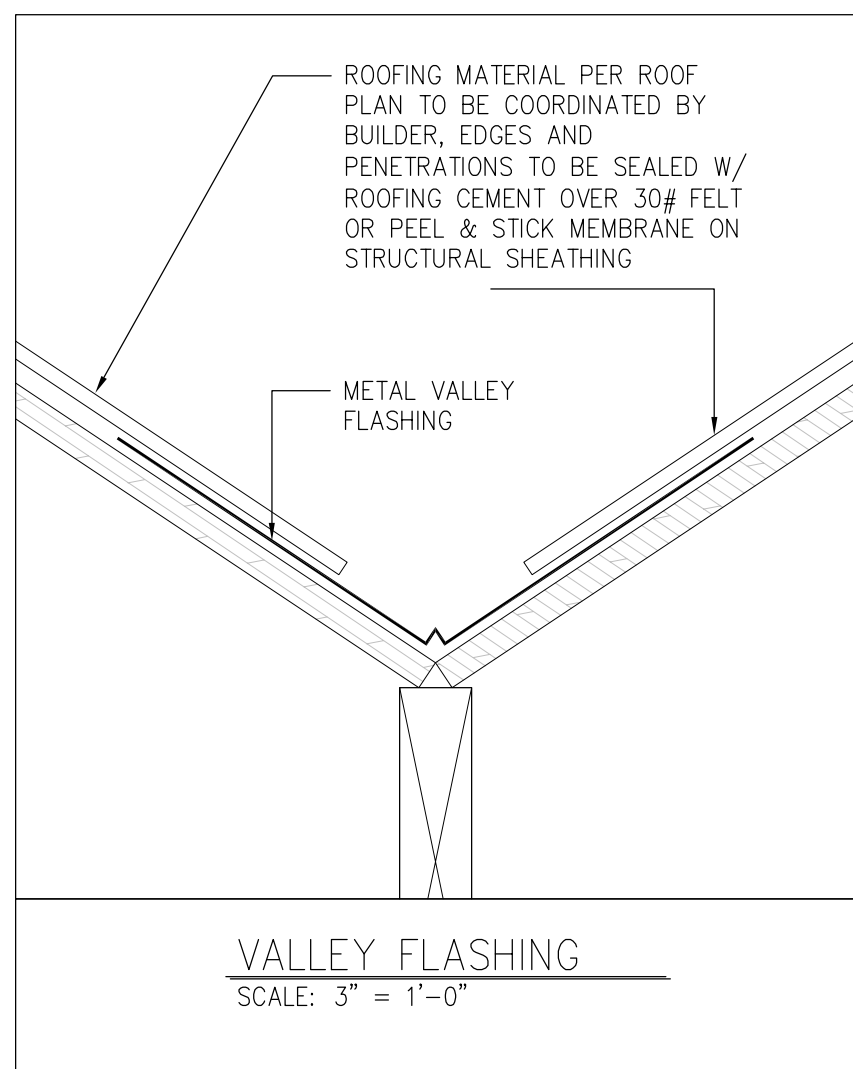
REFER TO THE FLORIDA ROOFING, SHEET METAL AND AIR CONDITIONING CONTRACTORS (FRSA), CONCRETE AND CLAY ROOF TILE INSTALLATION MANUAL FOR MORE INFORMATION.



- 1 METAL DRIP EDGE 26 GAUGE GALVANIZED N.T.S.
- 1 "Z" FLASHING 29 GAUGE GALVANIZED N.T.S.
- 6 5 x 5 GALVANIZED FLASHING 26 GAUGE GALVANIZED N.T.S.

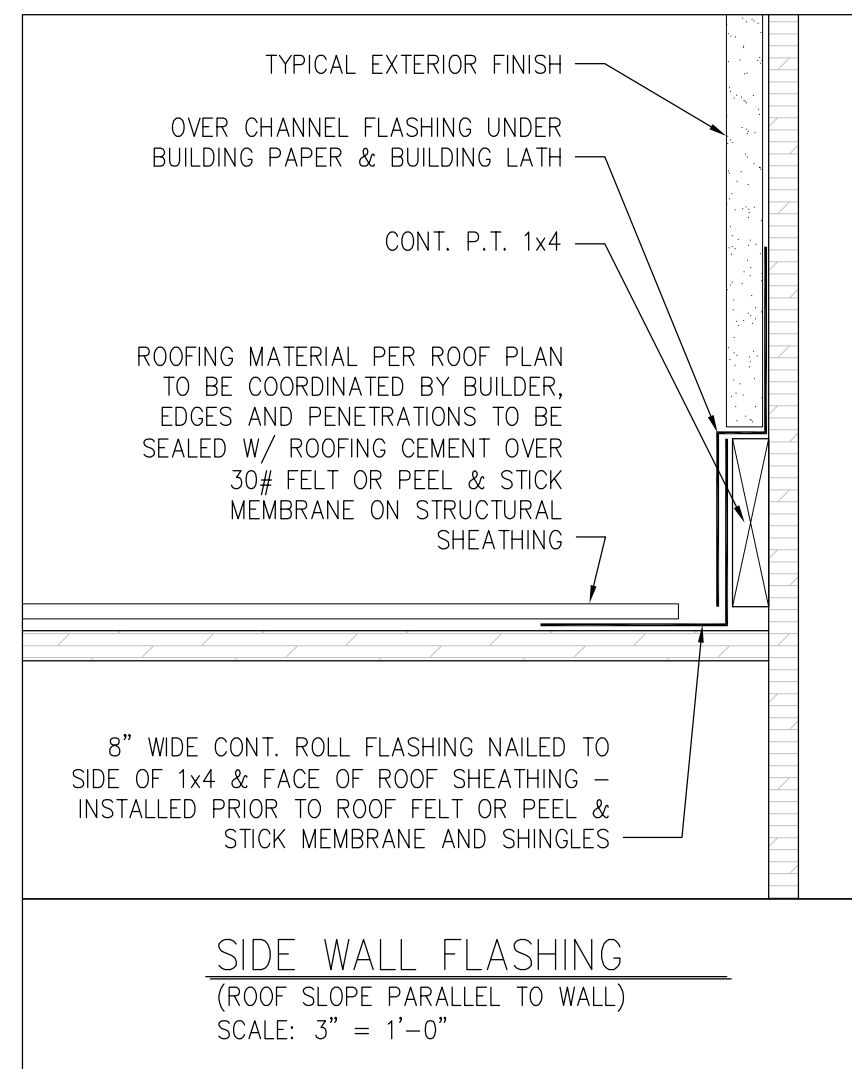
**TYPICAL FLASHING LOCATIONS / NOTES**

SCALE: N.T.S.



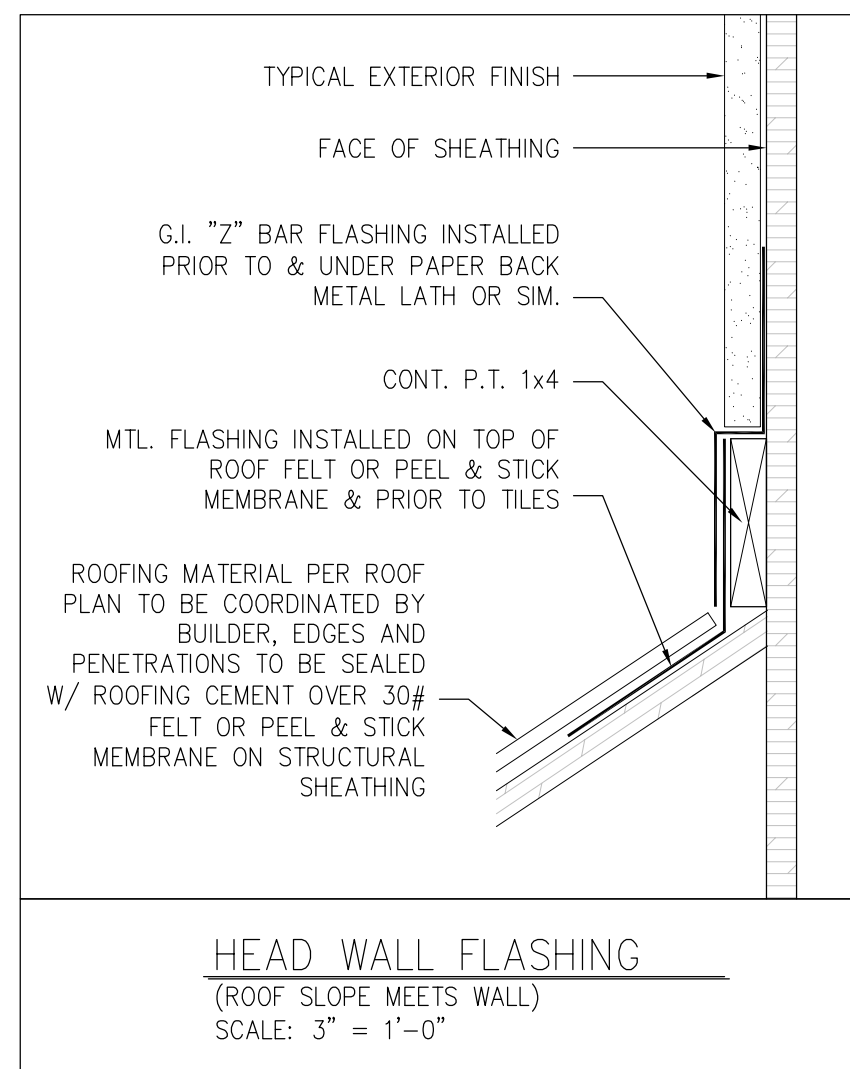
**VALLEY FLASHING**

(ROOF SLOPE PARALLEL TO WALL)  
SCALE: 3" = 1'-0"



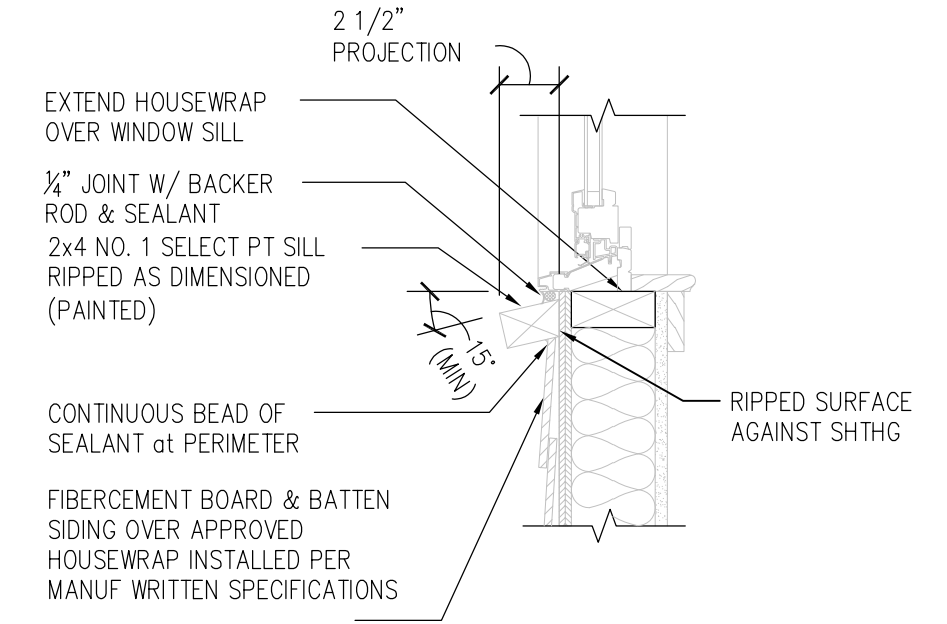
**SIDE WALL FLASHING**

(ROOF SLOPE PARALLEL TO WALL)  
SCALE: 3" = 1'-0"



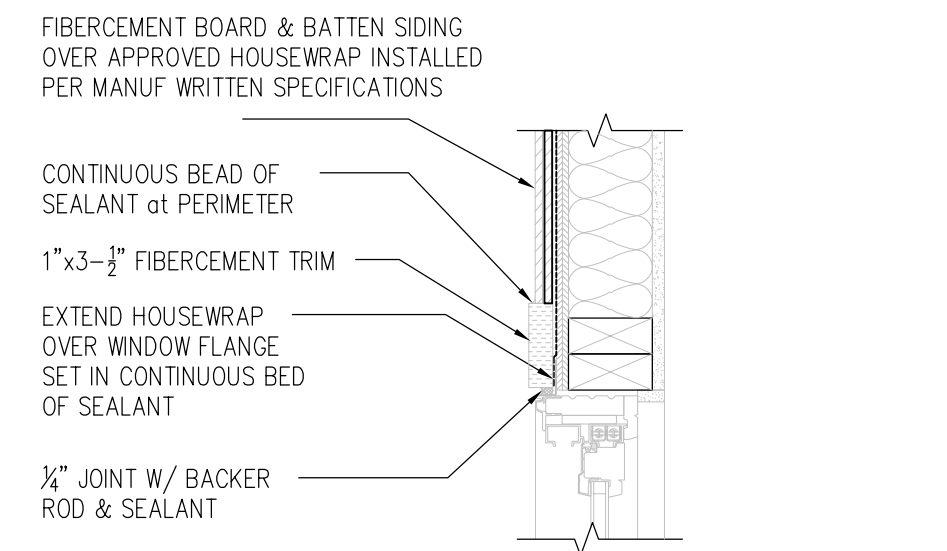
**HEAD WALL FLASHING**

(ROOF SLOPE MEETS WALL)  
SCALE: 3" = 1'-0"



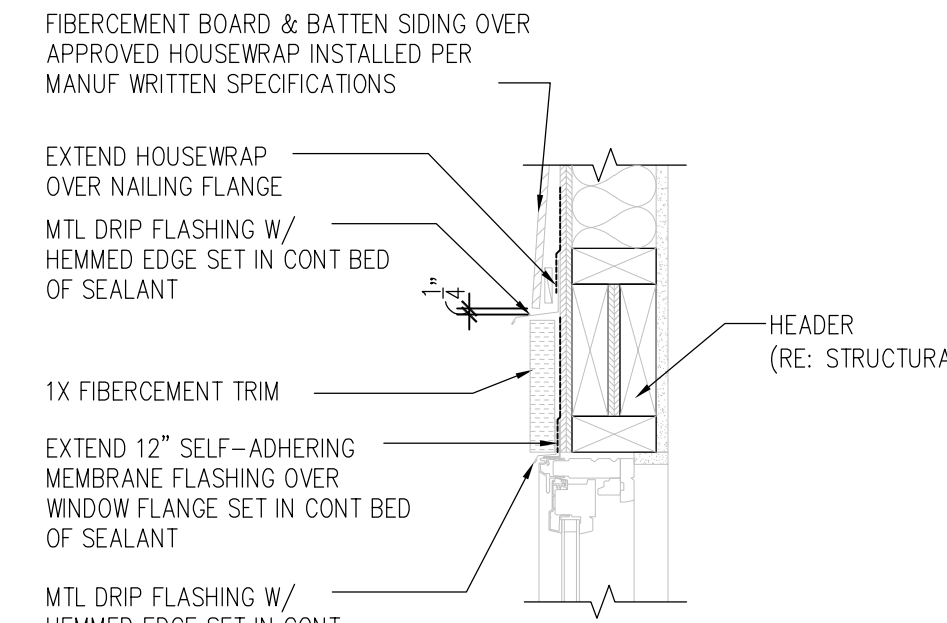
**4 WINDOW SILL, TYP.**

AD3 1-1/2" = 1'-0"



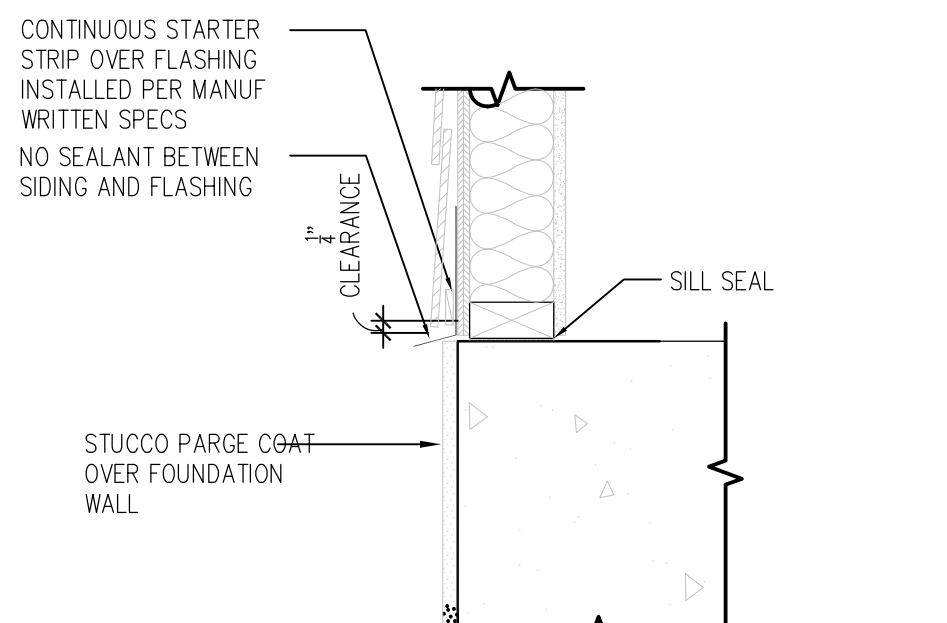
**3 WINDOW JAMB, TYP. (DOOR SIMILAR)**

AD3 1-1/2" = 1'-0"



**2 WINDOW HEAD, TYP. (DOOR SIMILAR)**

AD3 1-1/2" = 1'-0"



**1 SILL PLATE, TYP.**

AD3 1-1/2" = 1'-0"



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LIC. AR92748

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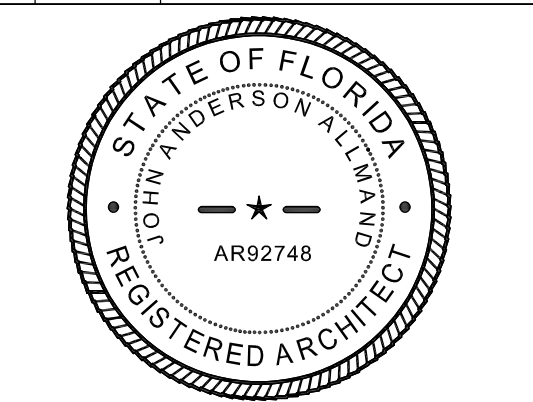
**NEW CONSTRUCTION**  
**PLAN OPTION "A" RIGHT RISER**  
**11479 OAKFIELD CT**  
**LOT #1**  
**JACKSONVILLE, FLORIDA**

**ARCHITECT: JOHN A. ALLMAND**

**LICENCE #: AR92748**

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**DATE: 07.18.2022**

**PROJECT # 19-123.17**

**AD5**  
PERMIT SET



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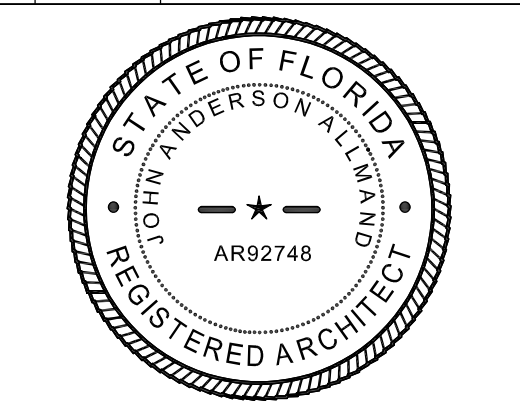
NEW CONSTRUCTION  
 PLAN OPTION "A" RIGHT RISER  
 11479 OAKFIELD CT  
 LOT #1  
 JACKSONVILLE, FLORIDA

ARCHITECT: JOHN A. ALLMAND

LICENCE #: AR92748

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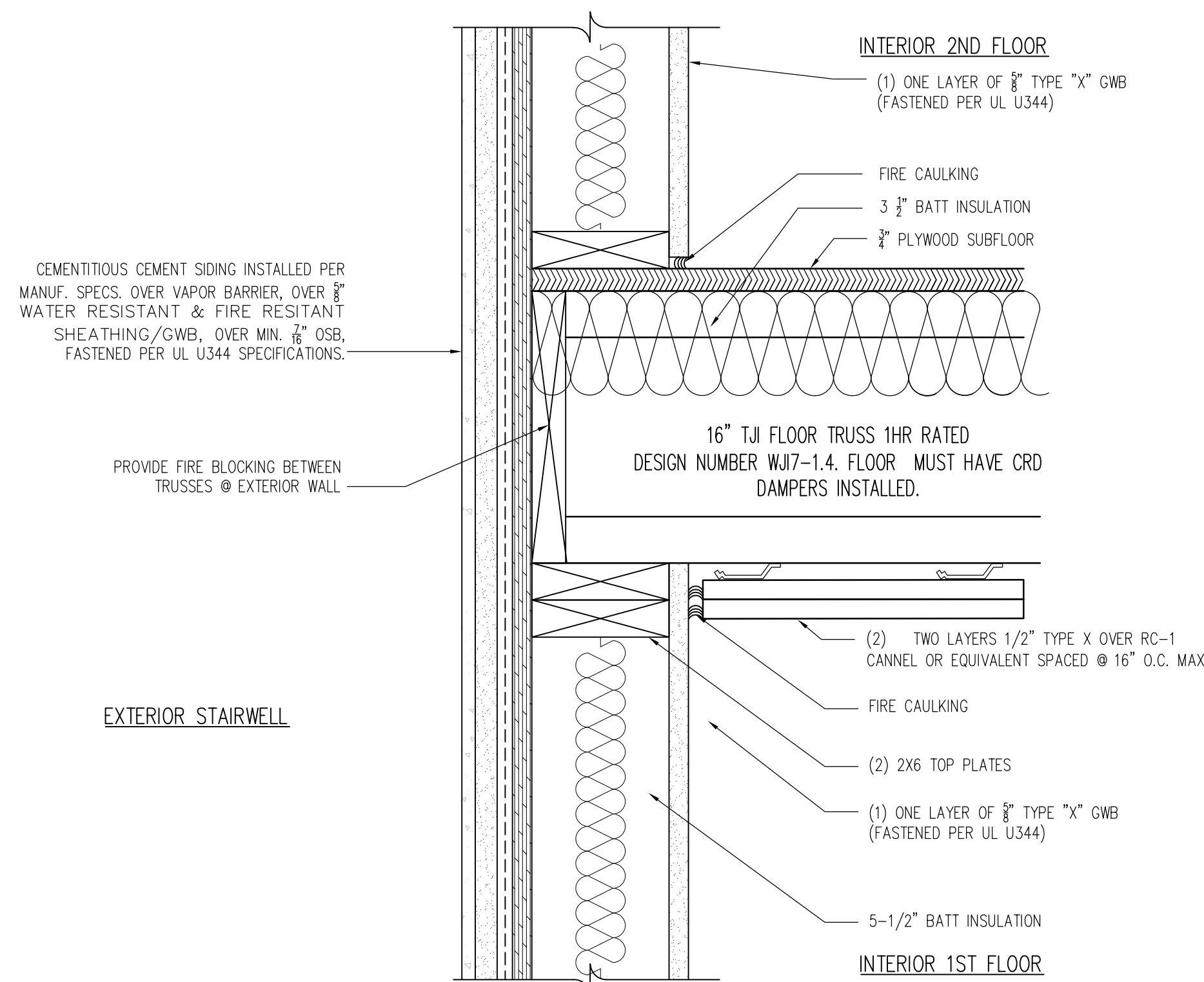
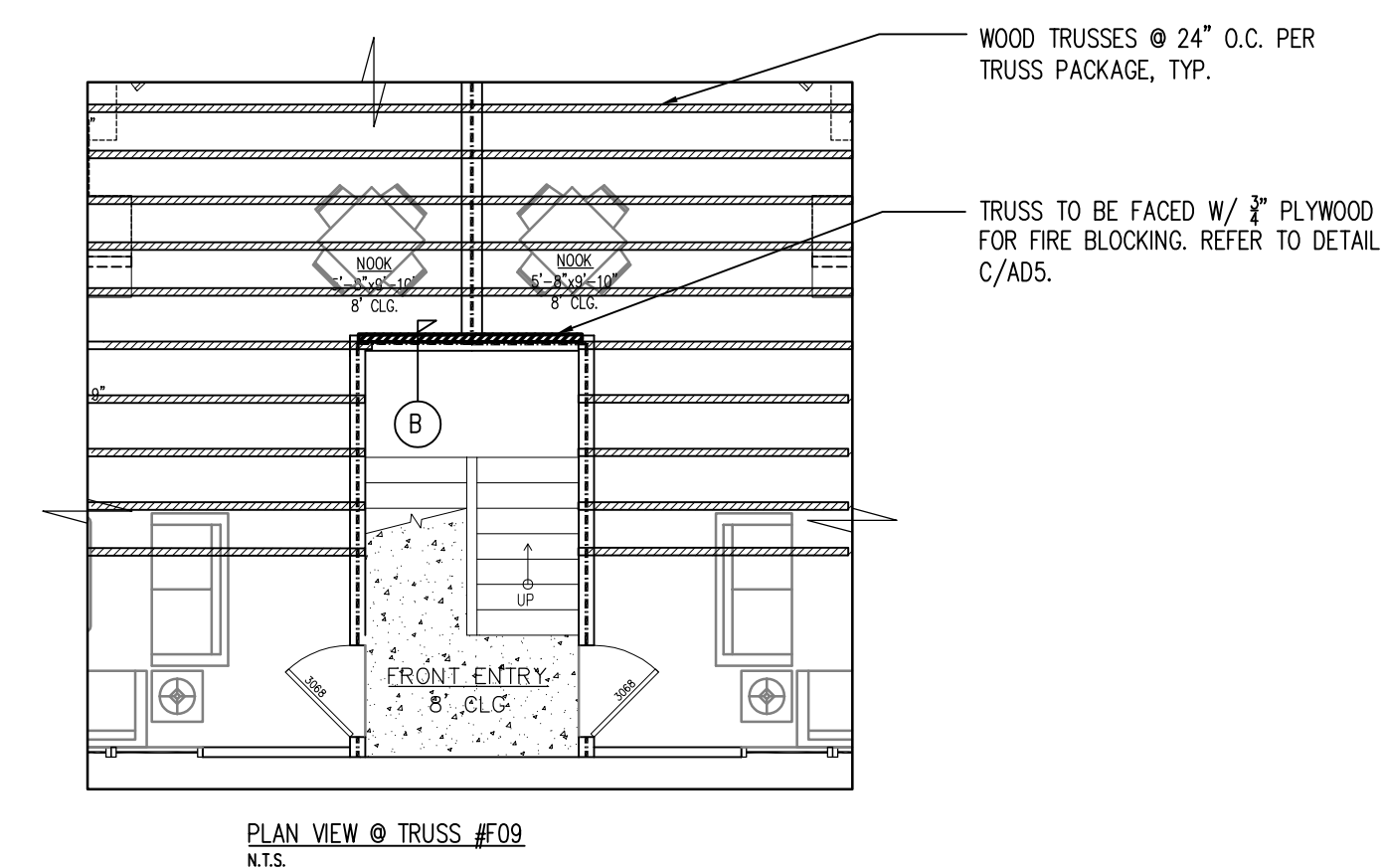
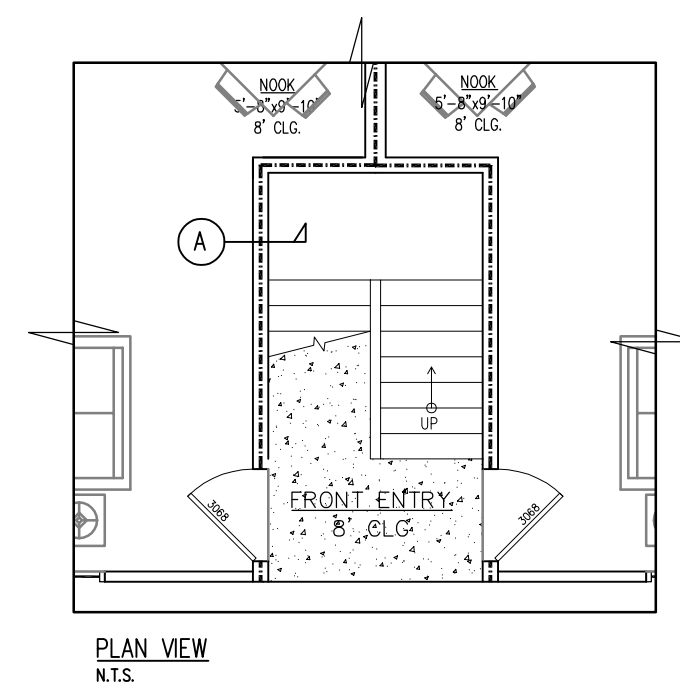
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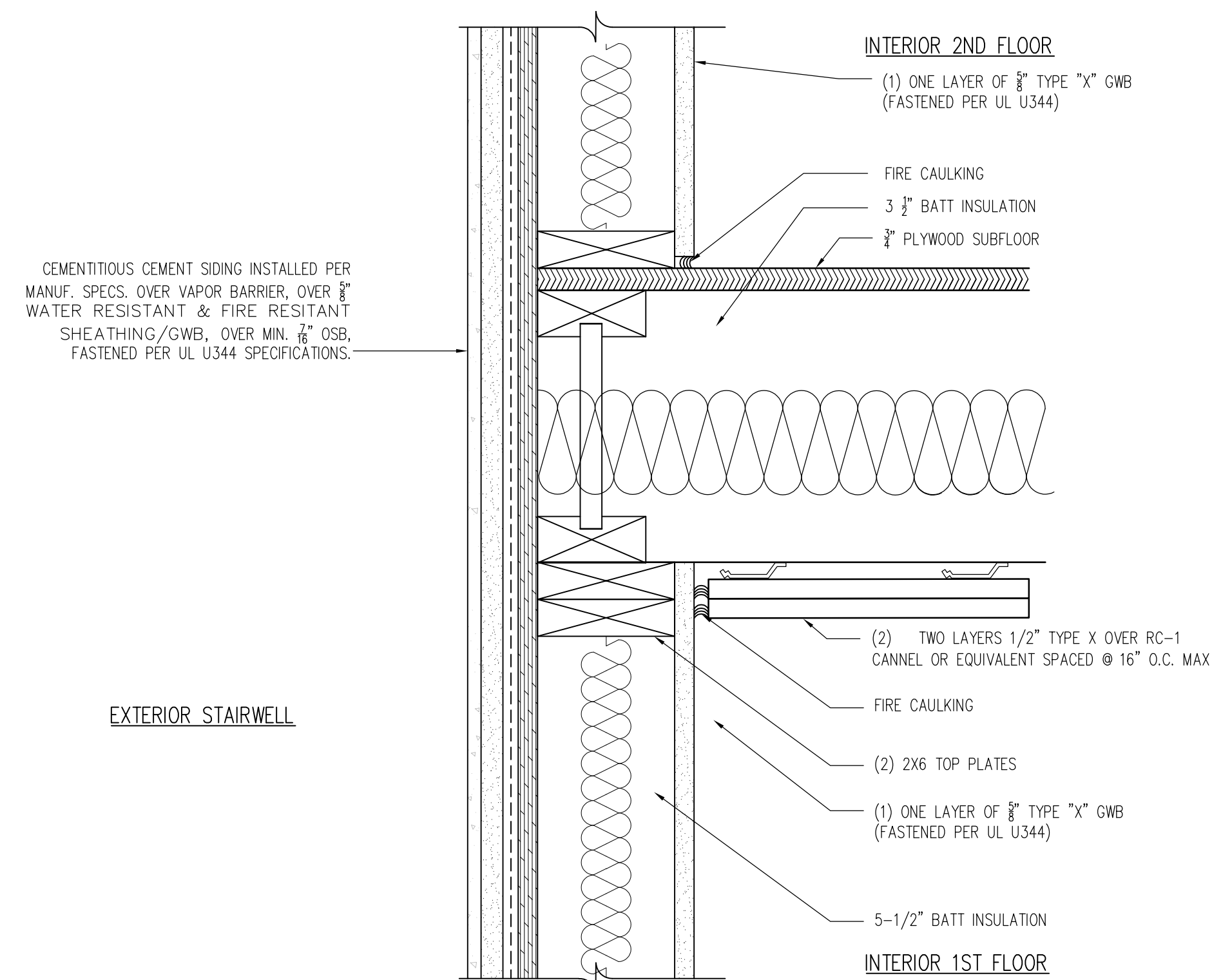
DATE: 07.18.2022

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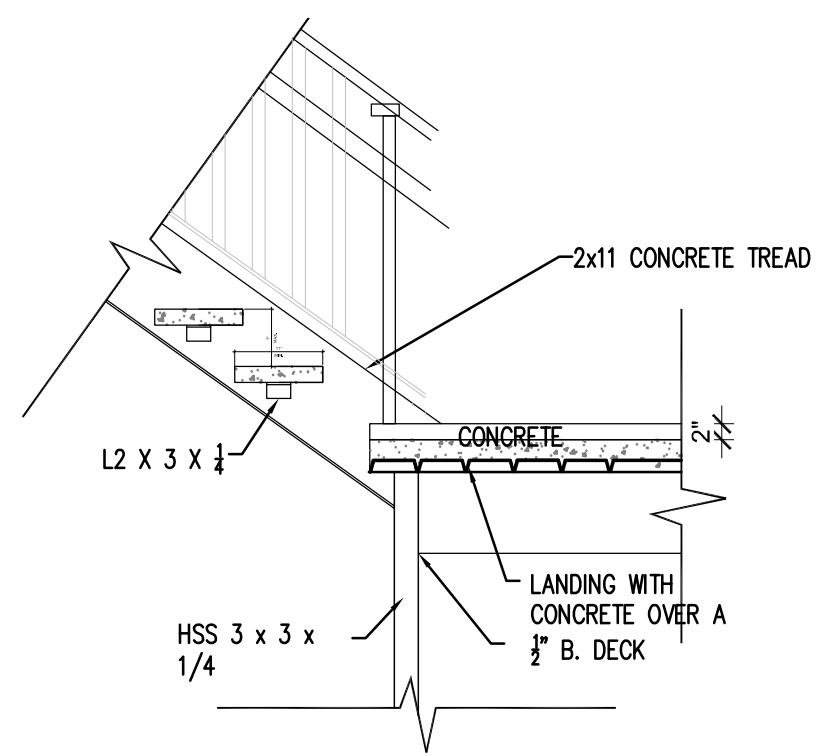
**AD6**  
 PERMIT SET



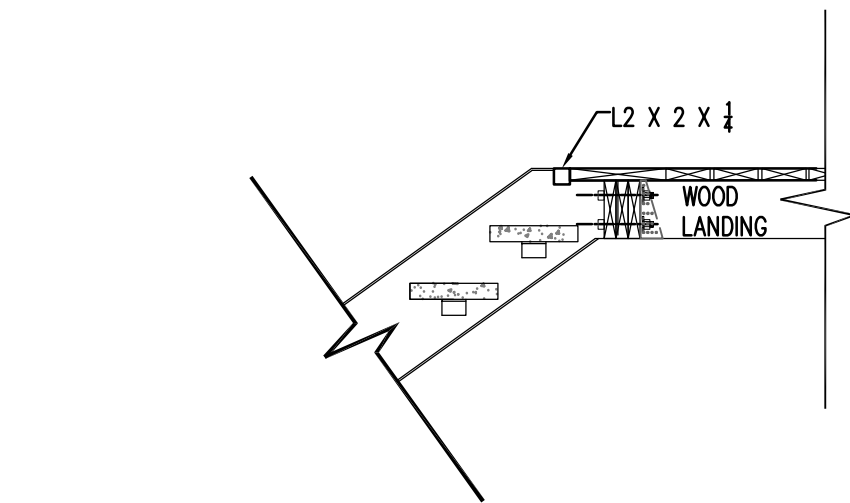
**B** EXTERIOR RATED WALL TO RATED FLOOR (SECTION VIEW)  
 ADS / SCALE: 3" = 1'-0"



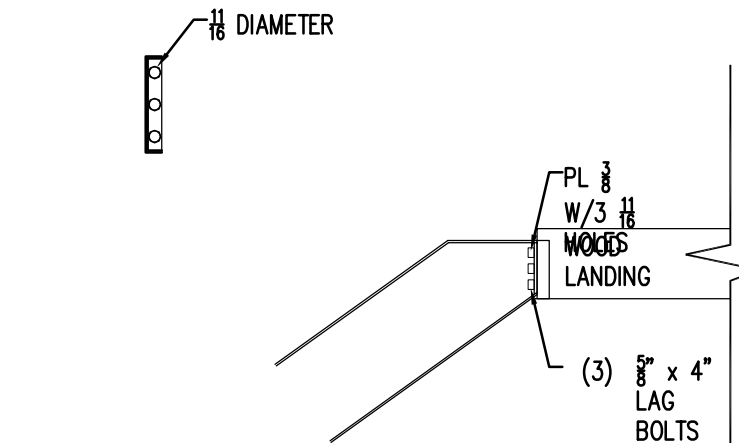
**A** EXTERIOR RATED WALL TO NON RATED WALL (PLAN VIEW)  
 ADS / SCALE: 3" = 1'-0"



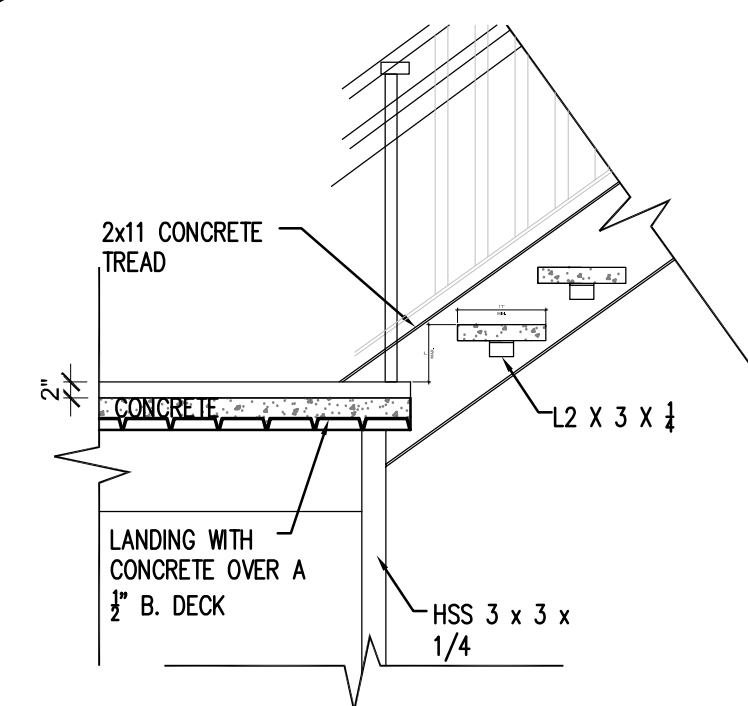
2 COLUMN BASE PLATE  
ADB / SCALE: 1/2" = 1'-0"



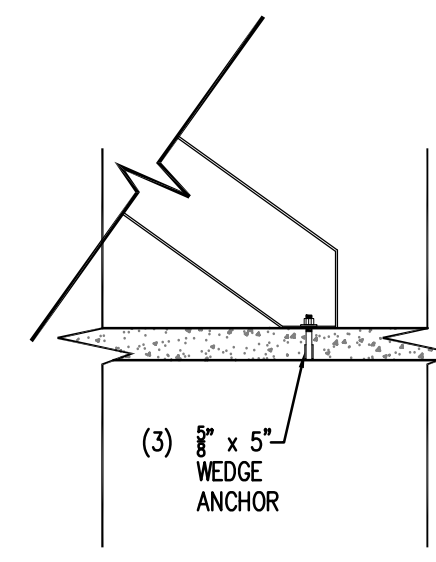
3 UPPER STRINGER TO WOOD LANDING  
ADB / SCALE: 1/2" = 1'-0"



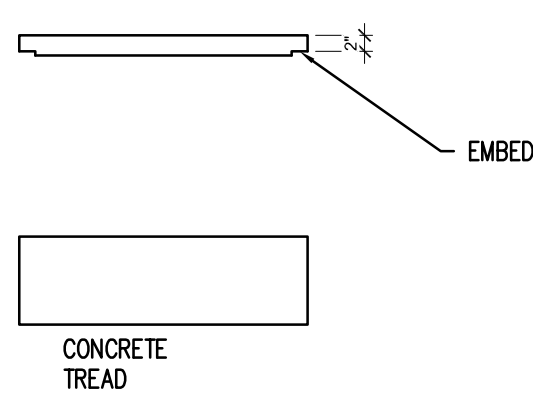
4 UPPER STRINGER CONNECTION  
ADB / SCALE: 1/2" = 1'-0"



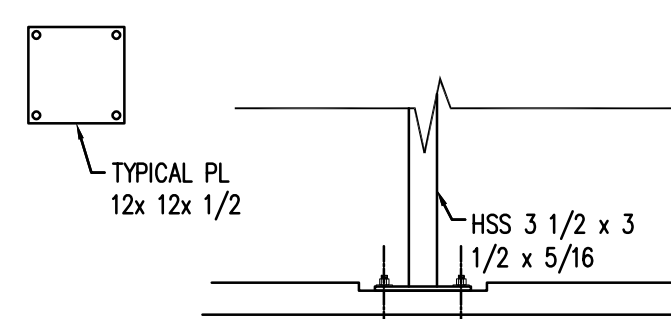
5 INTERMEDIATE LANDING LOWER STRINGER  
ADB / SCALE: 1/2" = 1'-0"



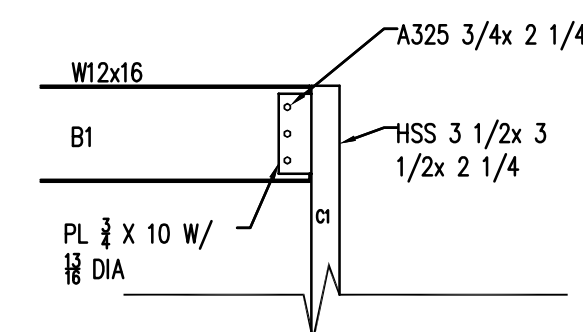
6 LOWER STRINGER MOUNTING  
ADB / SCALE: 1/2" = 1'-0"



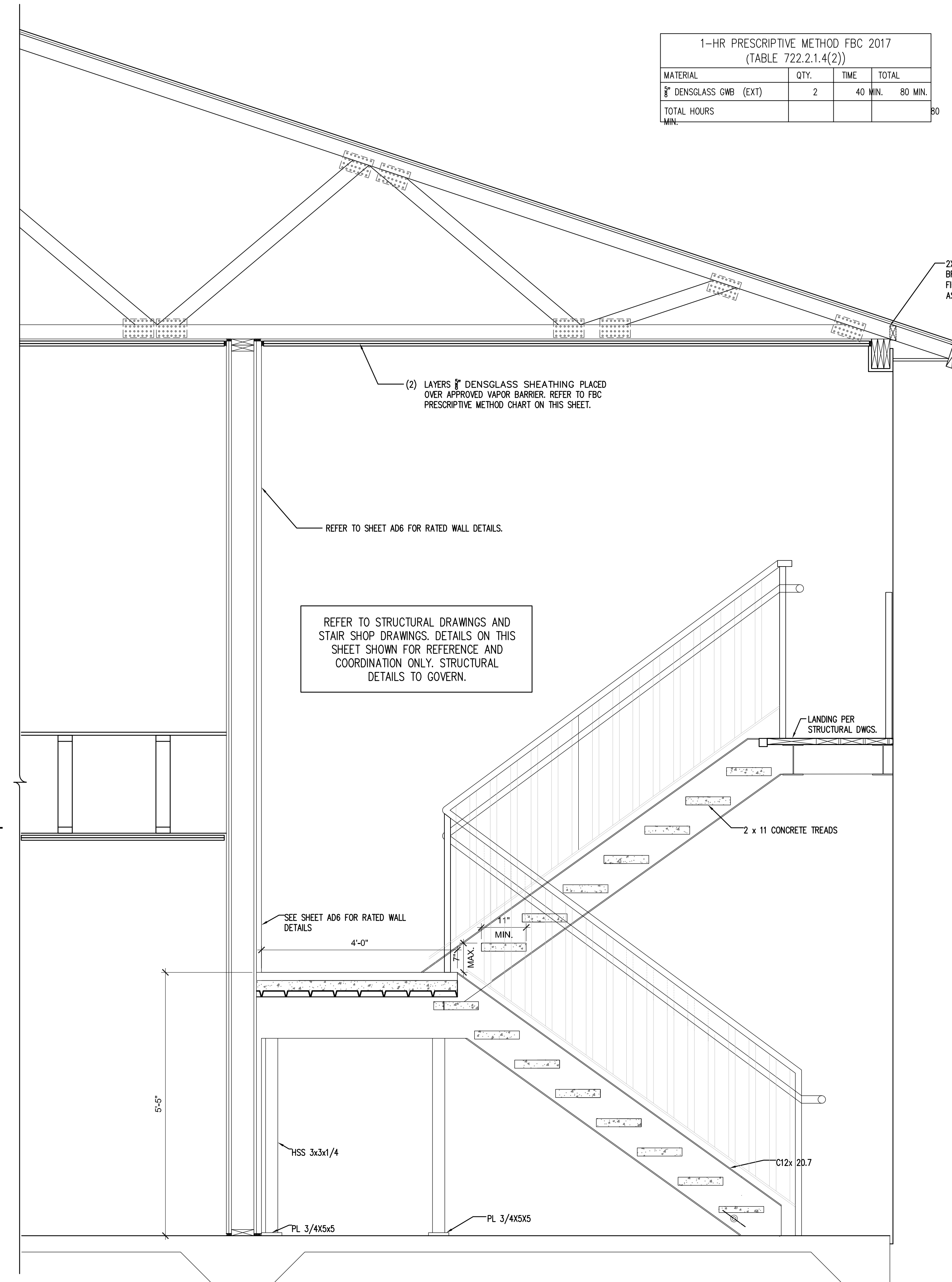
7 CONCRETE TREAD  
ADB / SCALE: 1/2" = 1'-0"



8 RECESS FOR BASE PLATE  
ADB / SCALE: 1/2" = 1'-0"



9 COLUMN AT CROSSWALK  
ADB / SCALE: 1/2" = 1'-0"



1 SECTION @ STAIR & BRIDGE  
ADB / SCALE: 3/4" = 1'-0"

1-HR PRESCRIPTIVE METHOD FBC 2017 (TABLE 722.2.1.4(2))			
MATERIAL	QTY.	TIME	TOTAL
1/2\"/>			



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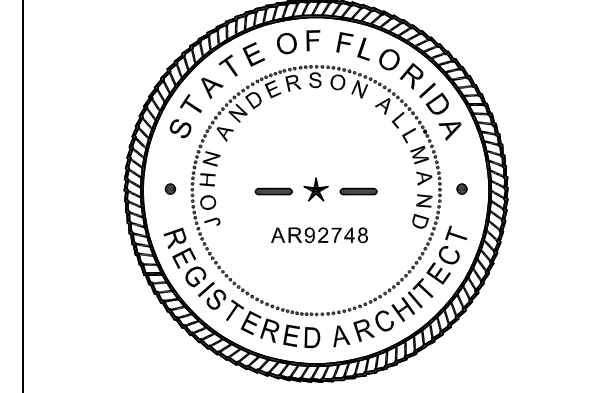
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NEW CONSTRUCTION  
PLAN OPTION "A" RIGHT RISER  
11479 OAKFIELD CT  
LOT #1  
JACKSONVILLE, FLORIDA

ARCHITECT: JOHN A. ALLMAND  
LICENCE #: AR92748

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DATE: 07.18.2022

PROJECT # 19-123.17

AD7  
PERMIT SET



ARCHITECTURE - INC

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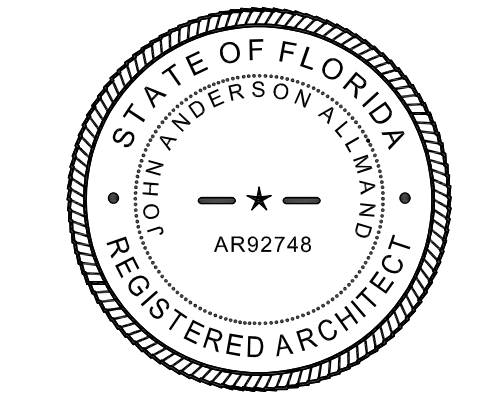
NEW CONSTRUCTION  
PLAN OPTION "A" RIGHT RISER  
11479 OAKFIELD CT  
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JACKSONVILLE, FLORIDA

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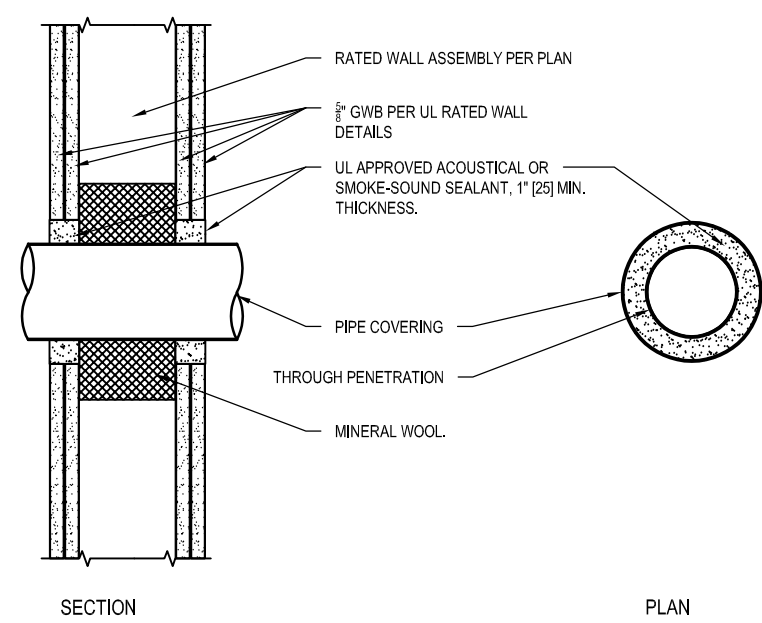
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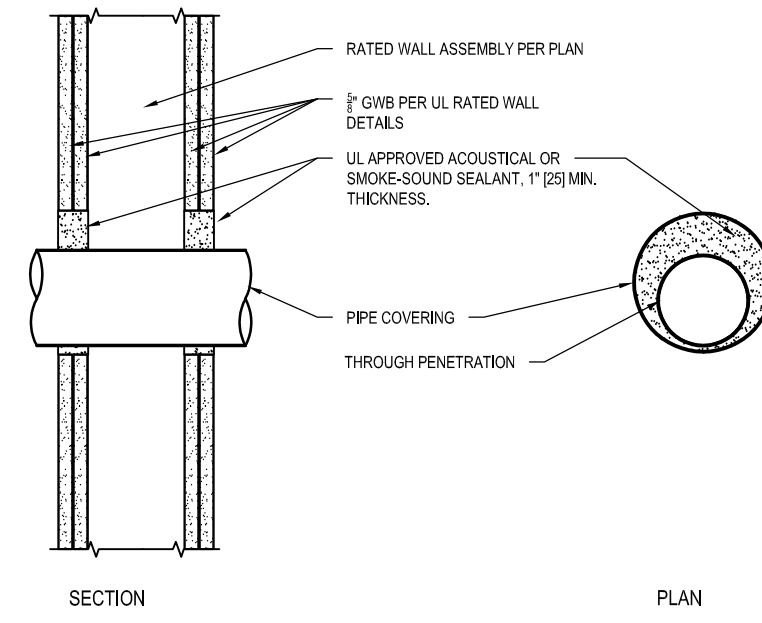
PROJECT # 19-123.17

AD8  
PERMIT SET



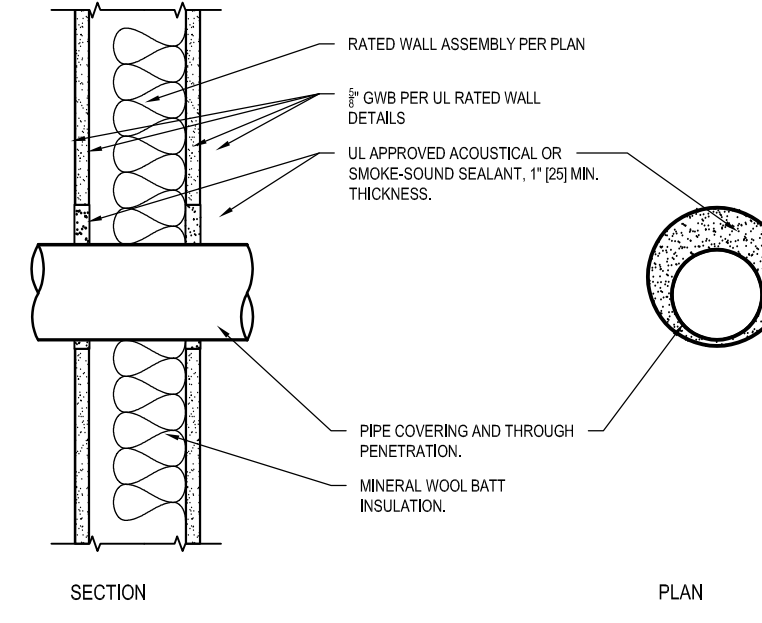
1 F-RATING 2-HR/T-RATING 0-HR  
SYSTEM NO. W-L-1064  
Scale: 1 1/2"=1'-0"

REFERENCE CURRENT UL JOINT SYSTEMS DIRECTORY FOR ALL GENERAL INFORMATION, MATERIAL DESIGNATIONS, THICKNESS AND FIRE RATINGS.



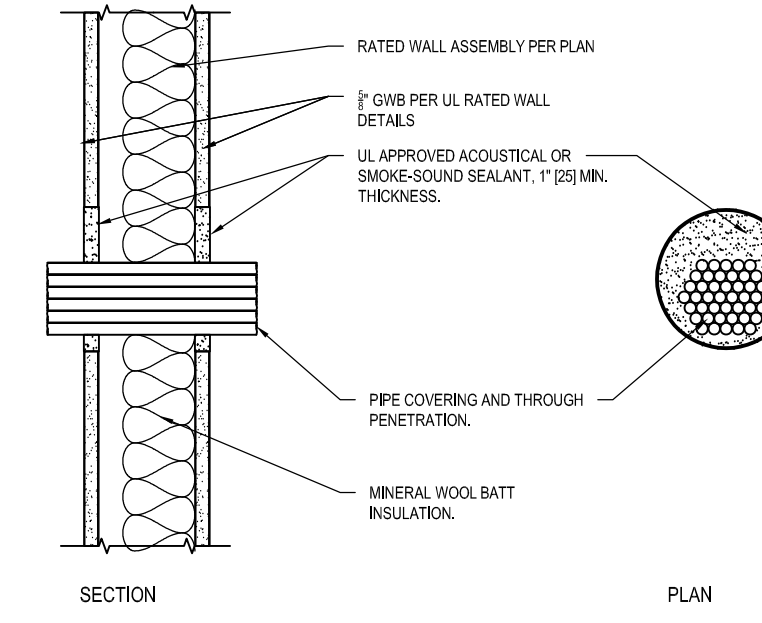
2 F-RATING 2-HR/T-RATING 0-HR  
SYSTEM NO. W-L-1063  
Scale: 1 1/2"=1'-0"

REFERENCE CURRENT UL JOINT SYSTEMS DIRECTORY FOR ALL GENERAL INFORMATION, MATERIAL DESIGNATIONS, THICKNESS AND FIRE RATINGS.



3 F-RATING 1-HR/T-RATING 0-HR & 1-HR.  
SYSTEM NO. W-L-1039  
Scale: 1 1/2"=1'-0"

REFERENCE CURRENT UL JOINT SYSTEMS DIRECTORY FOR ALL GENERAL INFORMATION, MATERIAL DESIGNATIONS, THICKNESS AND FIRE RATINGS.



4 F-RATING 1-HR/T-RATING 0-HR & 1-HR  
SYSTEM NO. W-L-3034  
Scale: 1 1/2"=1'-0"

REFERENCE CURRENT UL JOINT SYSTEMS DIRECTORY FOR ALL GENERAL INFORMATION, MATERIAL DESIGNATIONS, THICKNESS AND FIRE RATINGS.