

CONTRACTOR TO VERIFY ALL DIMENSIONS AND OPTIONS INCLUDED

2023 FLORIDA BUILDING CODE:

1. SLEEPING ROOMS HAVE ADEQUATE WINDOW SIZE AND PROPER LOCATION FOR ESCAPE & RESCUE FBC R310
2. ONE BATHROOM WITH A 29" MINIMUM CLEAR ACCESS, ON THE LOWER FLOOR. FBC R320
3. HAZARDOUS GLASS LOCATIONS INDICATED. FBC R308.4
4. ATTIC ACCESS LOCATED WITH OPENING DIMENSIONS FBC R807.
5. PROVIDE PROTECTION FROM IMPACT IN GARAGES FOR DUCTWORK & APPLIANCES. FBC M1307, FBC MECHANICAL 603.15, FBC FUEL GAS 303.4
6. STAIR CONSTRUCTION DETAILS INDICATE PROPER TREAD/RISER RELATIONSHIP, HANDRAIL LOCATION, HANDRAIL/GUARDRAIL HTS., & MINIMUM OPEN RAIL SPACING INDICATED. FBC 311.7, R312.1
7. FLASHING DETAILS @ EXTERIOR WINDOW/DOOR OPENINGS, INTERSECTIONS W/ CHIMNEY/MASONRY/ETC, PROJECTING WOOD TRIM, EXTERIOR DECKS/PORCHES/STAIRS, WALL/ROOF INTERSECTIONS, VENEERS , ETC. FBC BUILDING 107.2.4, FBC R703.4
8. SMOKE DETECTOTS & CARBON MONOXIDE DETECTORS(IF APPLICABLE) LOCATED FBS R314 R315
9. PROVIDE ROOF VENTILATION CALCULATION, FBC R806
10. PROVIDE DETAILS FOR DWELLING-GARAGE OPENING AND PENETRATION PROTECTION; PROVIDE DETAILS FOR DWELLING-GARAGE FIRE SEPARATION. FBC R302.5, R302.6
11. PROVIDE LOCATION OF ALL REQUIRED GFI/AFI AND WATERPROOF RECEPTACLE. FBC R3901, E4002
12. ALL PERMANENTLY INSTALLED LUMINAIRES, EXCLUDING THOSE IN KITCHEN APPLIANCES, SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS-PER-WATT OR SHALL UTILIZE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS-PER-WATT FBC ENERGY CONSERVATION
13. LOCATION OF REQUIRED VENTING FOR ALL FUEL BURNING APPLIANCES, INCLUDING FIREPLACES. FB CHAPTER 24

NOTE:
A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTORS USE PRIOR TO FRAMING INSPECTION.

DRAWING INDEX

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A1.1	FLOOR PLANS
A1.2	FOUNDATION AND ROOF PLANS
A1.3	ELECTRIC PLANS
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A3.1	DETAIL SHEET
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CODE INFORMATION

BUILDING CODE: 2023 FLORIDA BUILDING CODE RESIDENTIAL 8TH ADDITION
2023 FLORIDA BUILDING CODE PLUMBING
2023 FLORIDA BUILDING CODE MECHANICAL
2020 NEC

CONSTRUCTION TYPE: SB
OCCUPANCY CLASS: R-3

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2 STORY RESIDENCE

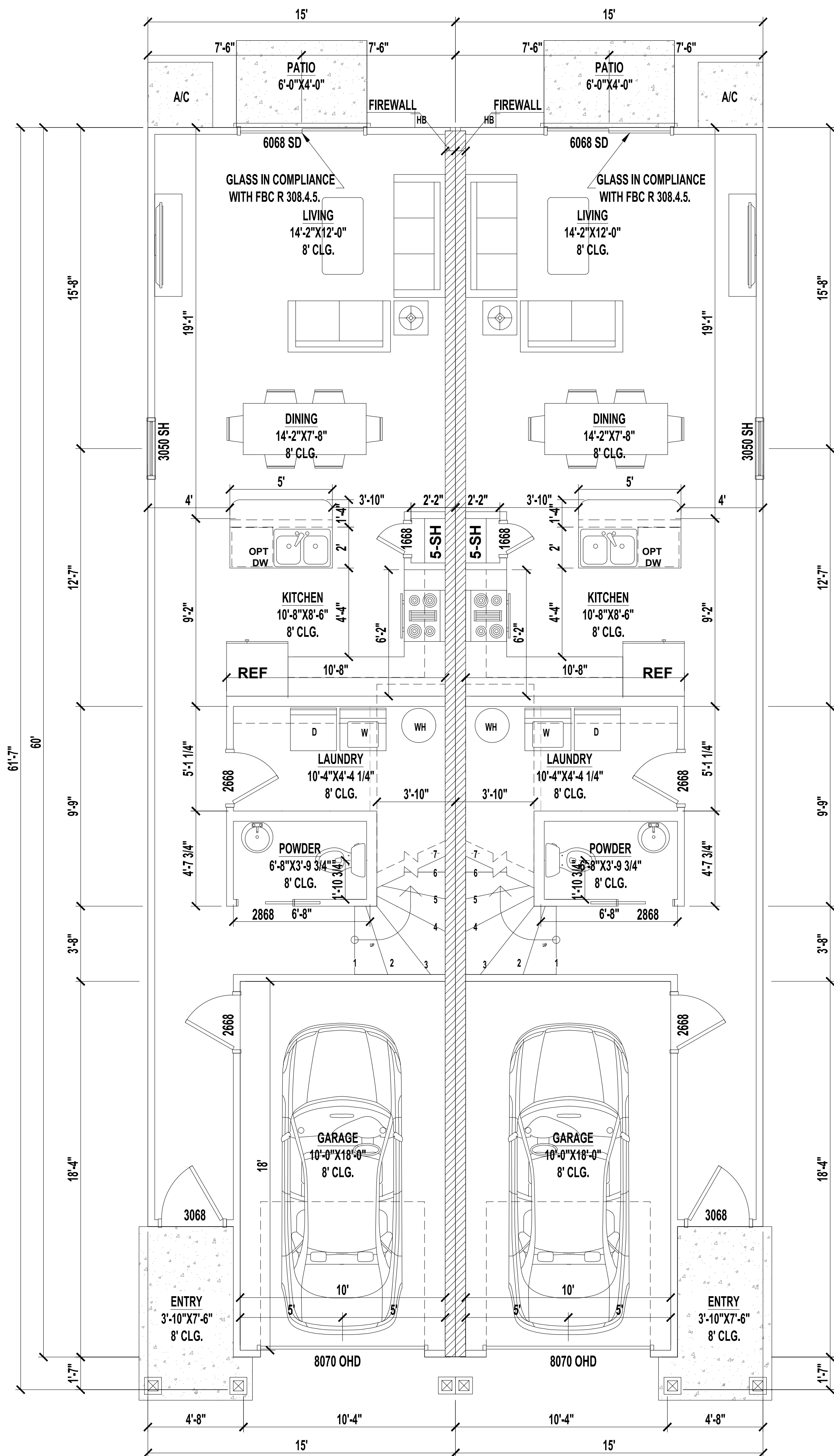
SOUTHERN IMPRESSION HOMES

Jacksonville, FL

A. Project For:

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A0.0-OVERVIEW

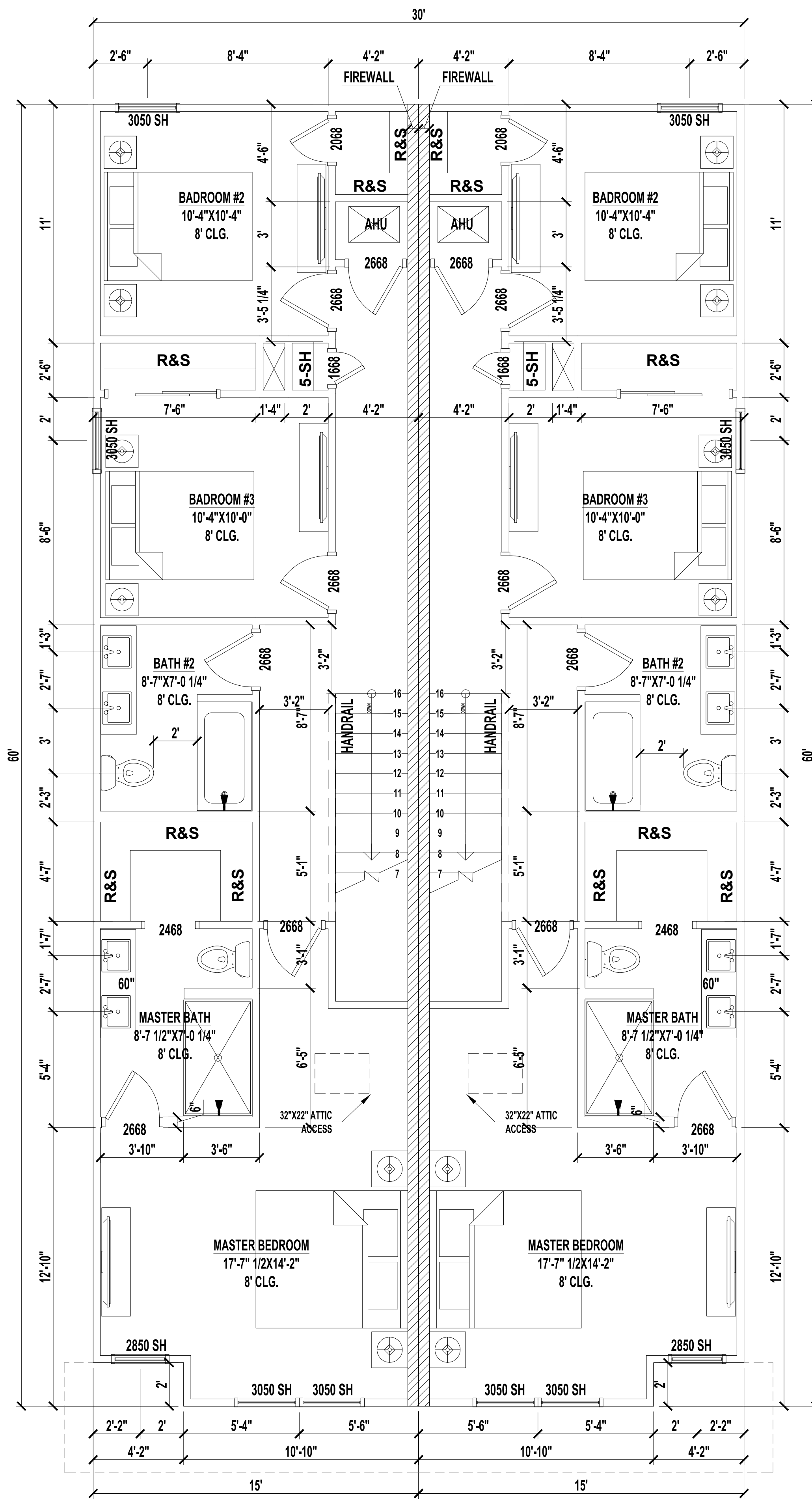
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TYPICAL 1ST FLOOR PLAN A
SCALE: 1/4" = 1'-0"

FBC NOTE:
ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH (12.7 MM) GYPSUM BOARD, PER FBC R302.7.

FBC NOTE:
WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2.



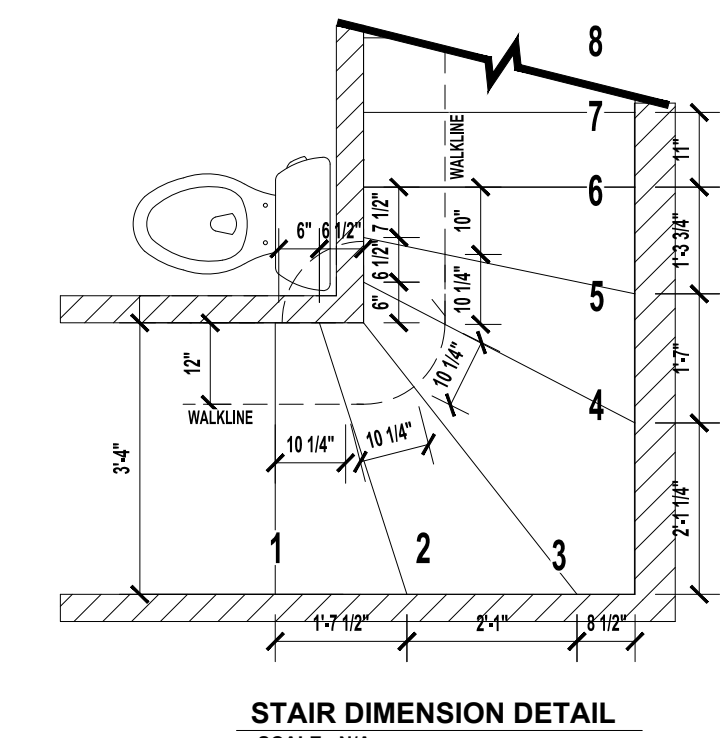
TYPICAL 2ND FLOOR PLAN A
SCALE: 1/4" = 1'-0"

BUILDING AREAS EACH UN	
1ST FLOOR HEATED AREA	683 SF
2ND FLOOR HEATED AREA	826 SF
TOTAL HEATED AREA	1,509 SF
GARAGE	191 SF
FRONT PORCH	31 SF
TOTAL UNDER ROOF	1,731 SF

CONDITIONED SPACE = 12,072 CF EACH UN.

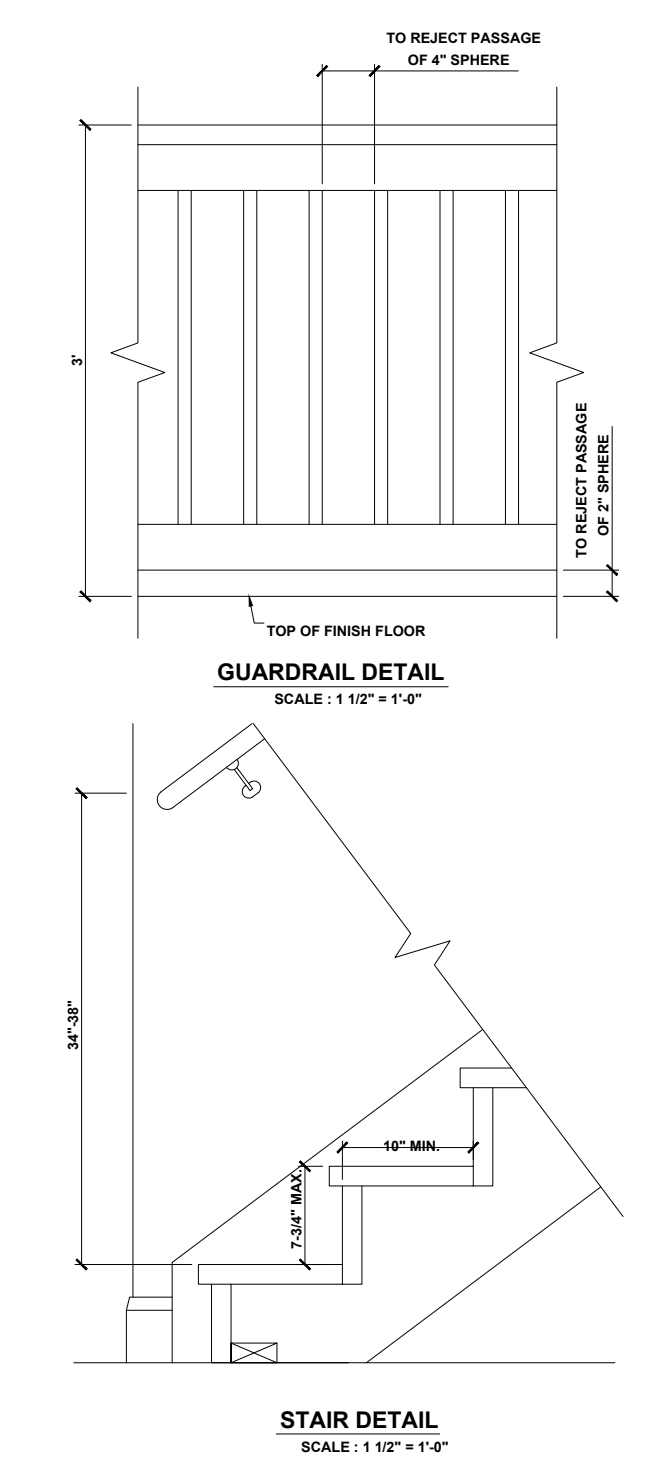
- NOTES:**
- IF SHOWER HAS GLASS ENCLOSURE, SAFETY GLAZING REQUIRED PER FBC R-308.4.5.
 - CONTRACTOR MUST VERIFY ALL DIMENSIONS.

**2X4 EXTERIOR WALLS
16" OVERHANG U.O.N**



WINDER TREADS NOTES:
R311.7.5.2.1 - WINDER TREADS SHALL HAVE A TREAD DEPTH NOT LESS THAN 10 INCHES MEASURED BETWEEN THE VERTICAL PLANES OF FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTIONS WITH THE WALKLINE. WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 6 INCHES AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR, WITHIN ANY FLIGHT OF STAIRS. THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN 3/8 INCH.

FBC NOTE:
P2705.1.5. - WATER CLOSETS, LAVATORIES AND BIDETS. A WATER CLOSET, LAVATORY OR BIDET SHALL NOT BE SET CLOSER THAN 15 INCHES (381 MM) FROM ITS CENTER TO ANY SIDE WALL, PARTITION OR VANITY OR CLOSER THAN 30 INCHES (762 MM) CENTER-TO-CENTER BETWEEN ADJACENT FIXTURES. THERE SHALL BE A CLEARANCE OF NOT LESS THAN 21 INCHES (533 MM) IN FRONT OF A WATER CLOSET, LAVATORY OR BIDET TO ANY WALL, FIXTURE OR DOOR.



GENERAL NOTES:

- PARKING BUMPER (IF REQUIRED) MUST BE INSTALLED BEFORE C.O.
- 3/8" TYPE "X" GYPSUM BOARD REQUIRED ON CEILING OF GARAGE WHERE HABITAT SPACE IS ABOVE PER FBC R302.6
- HVAC PENETRATING RATED ASSEMBLIES TO COMPLY WITH FBC R302.5
- UNDER STAIR PROTECTION TO COMPLY WITH FBC R302.7 (IF ACCESSIBLE).

GUARDRAIL NOTE:
DEPENDENT ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R312.1 FOR GUARDRAIL REQUIREMENTS AND OPENINGS. HEIGHT SHALL BE 36" MIN. WHEN PORCH, BALCONY OR RISED FLOOR EXCEEDS 30" ABOVE FLOOR OR GRADE AND SHALL BE 34" ON OPEN SIDES OF STAIRS THAT EXCEED 30" OR MORE ABOVE FLOOR OR GRADE. OPENINGS SHALL HAVE INTERMEDIATE RAILS OR CLOSURES WHICH DO NOT ALLOW PASSAGE OF SPHERE 4" OR GREATER IN DIAMETER. REQUIRED GUARD RAILS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW SPHERE GREATER THAN 4-3/8" IN DIAMETER TO PASS THROUGH.

HANDRAIL NOTE:
DEPENDENT ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.2 FOR HANDRAIL CONTINUITY AND SIZE. HEIGHT MUST BE BETWEEN 34-3/8" MEASURED VERTICALLY FROM SLOPED PLANE. CONTINUITY: HANDRAIL MUST BE CONTINUOUS THROUGH FULL LENGTH OF FLIGHT FROM POINT DIRECTLY ABOVE HIGHEST RISER TO POINT DIRECTLY ABOVE LOWEST RISER. HANDRAIL ENDS SHOULD TERMINATE IN NEVEL POSTS OR SAFETY TERMINAL OR RETURN TO WALL. HANDRAILS SHALL BE ALLOWED TO BE INTERRUPTED BY NEVEL POSTS. SIZE: SHALL HAVE OUTSIDE DIAMETER BETWEEN 1-1/4" - 2" IF CIRCULAR. SHALL HAVE BETWEEN 4-4" PERIMETER IF NOT CIRCULAR.

STAIR NOTE:
DEPENDENT ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.5 FOR TREAD DEPTH, RISER HEIGHTS AND STAIR WIDTHS. "RISERS" 7-3/4" MAXIMUM WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN HIGHEST AND LOWEST RISER. "TREADS" 10" MINIMUM DEPTH WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN LONGEST AND SHORTEST. "TREAD" THE SUM OF 2 TREADS AND 1 RISER TO BE NOT LESS THAN 24" AND NOT MORE THAN 25". "WIDTH" 36" MINIMUM CLEAR WIDTH ABOVE HANDRAIL AND 31-1/2" BELOW HANDRAIL.

TABLE R302.6: DWELLING-GARAGE SEPARATION	
SEPARATION	MATERIAL
FROM THE RESIDENCE AND ATTICS	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALL THAT ARE WITHIN THIS AREA

By _____
Date _____

Revisions

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2 STORY RESIDENCE

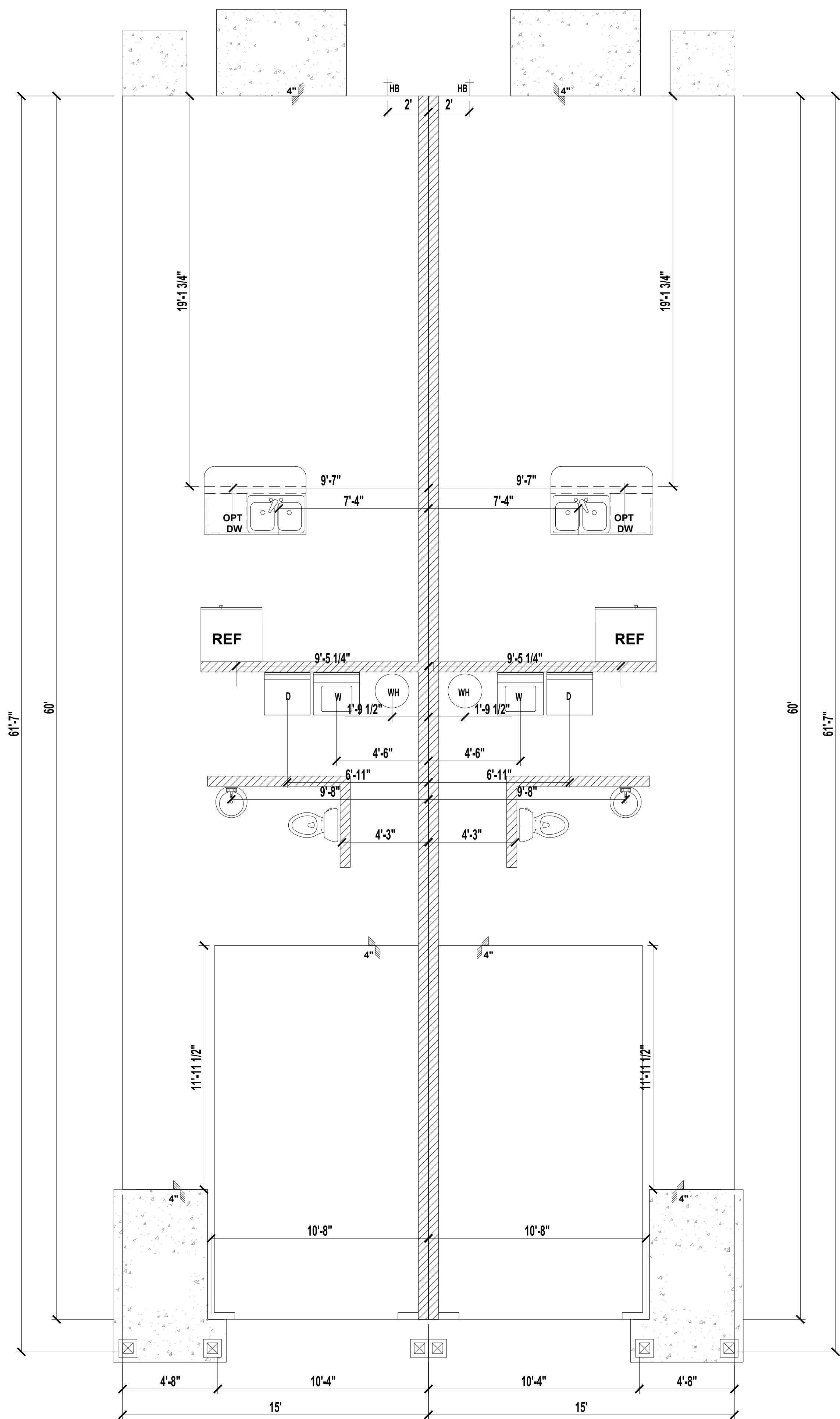
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Sheet Description: A1.1-FLOOR PLAN

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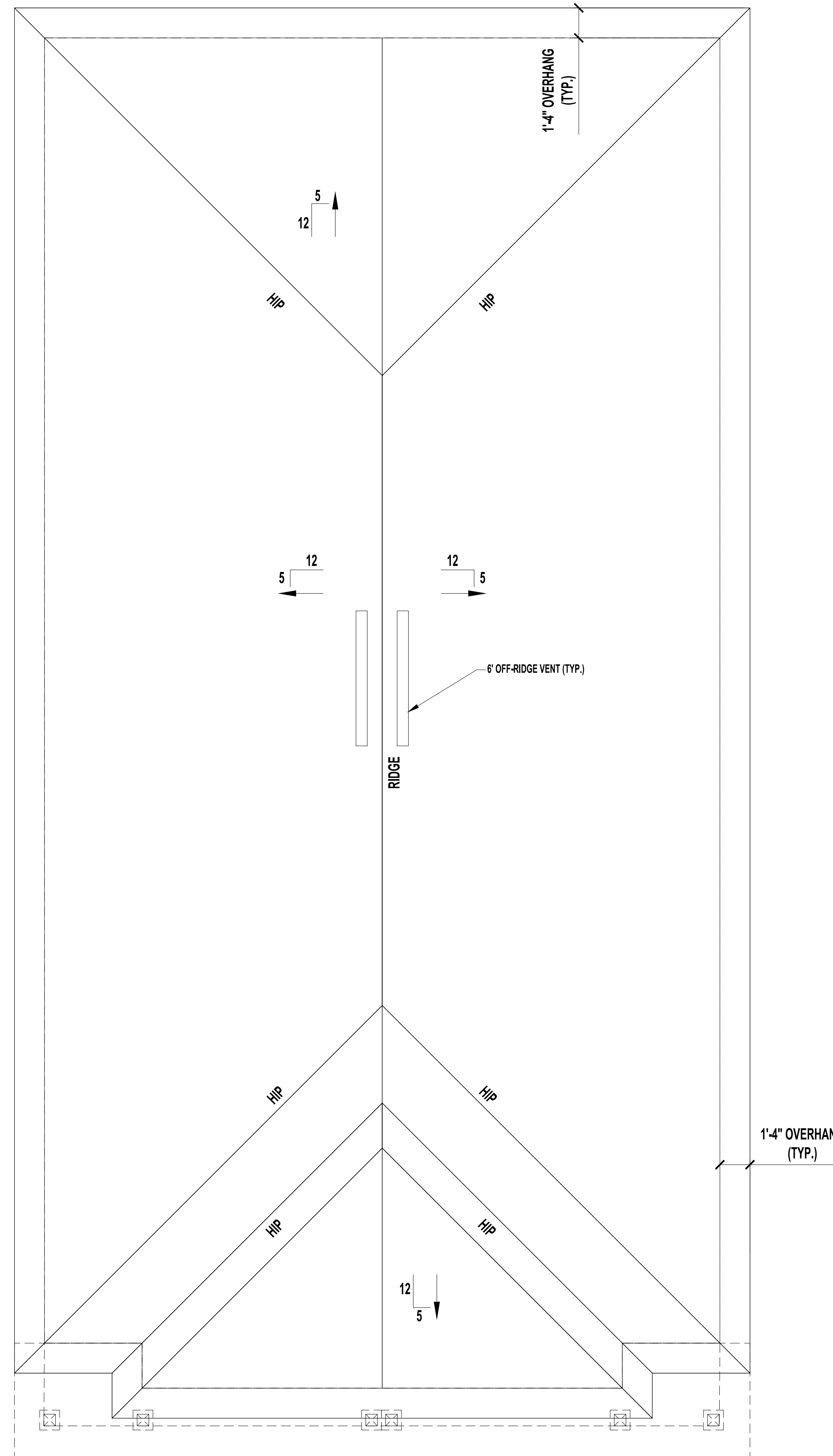


FOUNDATION PLAN A

SCALE: 1/4" = 1'-0"

NOTES TO PLUMBERS:

1. PLUMBING SHALL COMPLY W/ FBC 2023 PLUMBING CODE.
2. WATER HEATER SHALL HAVE A PAN AS REQUIRED AND RELIEF VALVE TO BE PIPED OUTSIDE WITHOUT TRAPPING
3. CLEANDUCT SHALL BE PROVIDED @ BASE OF STACK & @ 41'-0" A.F.F. IN LAUNDRY ROOMS

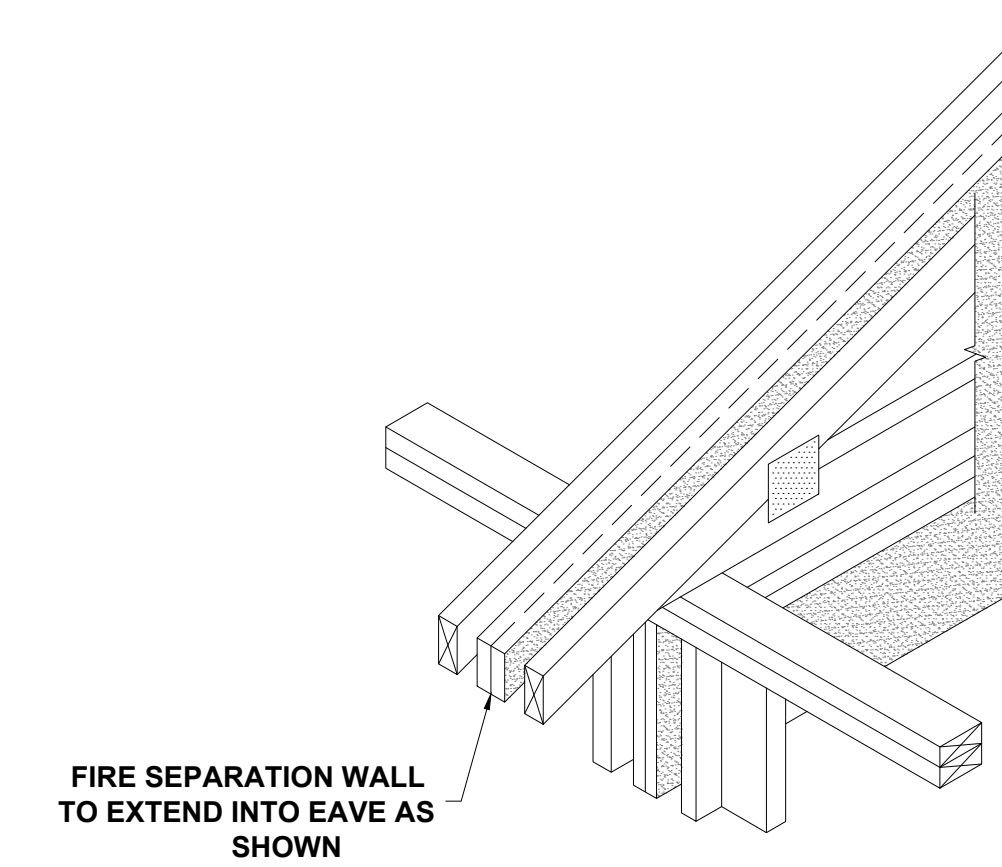


ROOF PLAN

SCALE: 1/4" = 1'-0"

FBC NOTE:

1. TERMITE PROTECTION TO BE PROVIDED PER FBC 318;
2. HORIZONTAL AND VERTICAL FIREBLOCKING TO BE PROVIDED PER FBC 302.11;
3. DRAFTSTOPPING TO BE PROVIDED PER FBC 302.12



FIRE RATED WALL AT SOFFIT - UL DESIGN: U350B
SCALE: N.T.S.

VENT CALCULATIONS PER UNIT

VENTED SOFFIT
 VENTILATED ATTIC AREA: 892 SQ. FT.
 $892 / 300 = 2.97$ SQ. FT.
 2.97 SQ. FT. X 144 = 428 SQ. IN. TOTAL NET FREE VENT AREA
 $428 \times 50\% = 214$ SQ. IN. NET FREE
 SOFFIT REQUIREMENT = 6.36 SQ. IN. NET FREE PER LF
 $214 / 6.36 = 34$ LF VENTED SOFFIT REQUIRED

OFF-RIDGE VENTS
 VENTILATED ATTIC AREA: 892 SQ. FT.
 $892 / 300 = 2.97$ SQ. FT.
 2.97 SQ. FT. X 144 = 428 SQ. IN. TOTAL NET FREE VENT AREA
 $428 \times 50\% = 214$ SQ. IN. NET FREE
 (1) 6' OFF-RIDGE VENTS REQUIRED (216 SQ. IN. EACH)

VENT CALCULATIONS LOWER ROOFS

VENTED SOFFIT
 VENTILATED ATTIC AREA: 68 SQ. FT.
 $68 / 150 = 0.45$ SQ. FT.
 0.45 SQ. FT. X 144 = 65.3 SQ. IN. TOTAL NET FREE VENT AREA
 SOFFIT REQUIREMENT = 6.36 SQ. IN. NET FREE PER LF
 $65.3 / 6.36 = 11$ LF VENTED SOFFIT REQUIRED

WIND DESIGN DATA	
ULTIMATE WIND SPEED	130 MPH
NOMINAL (BASIC) WIND SPEED	108 MPH
RISK CATEGORY:	II
WIND EXPOSURE:	B

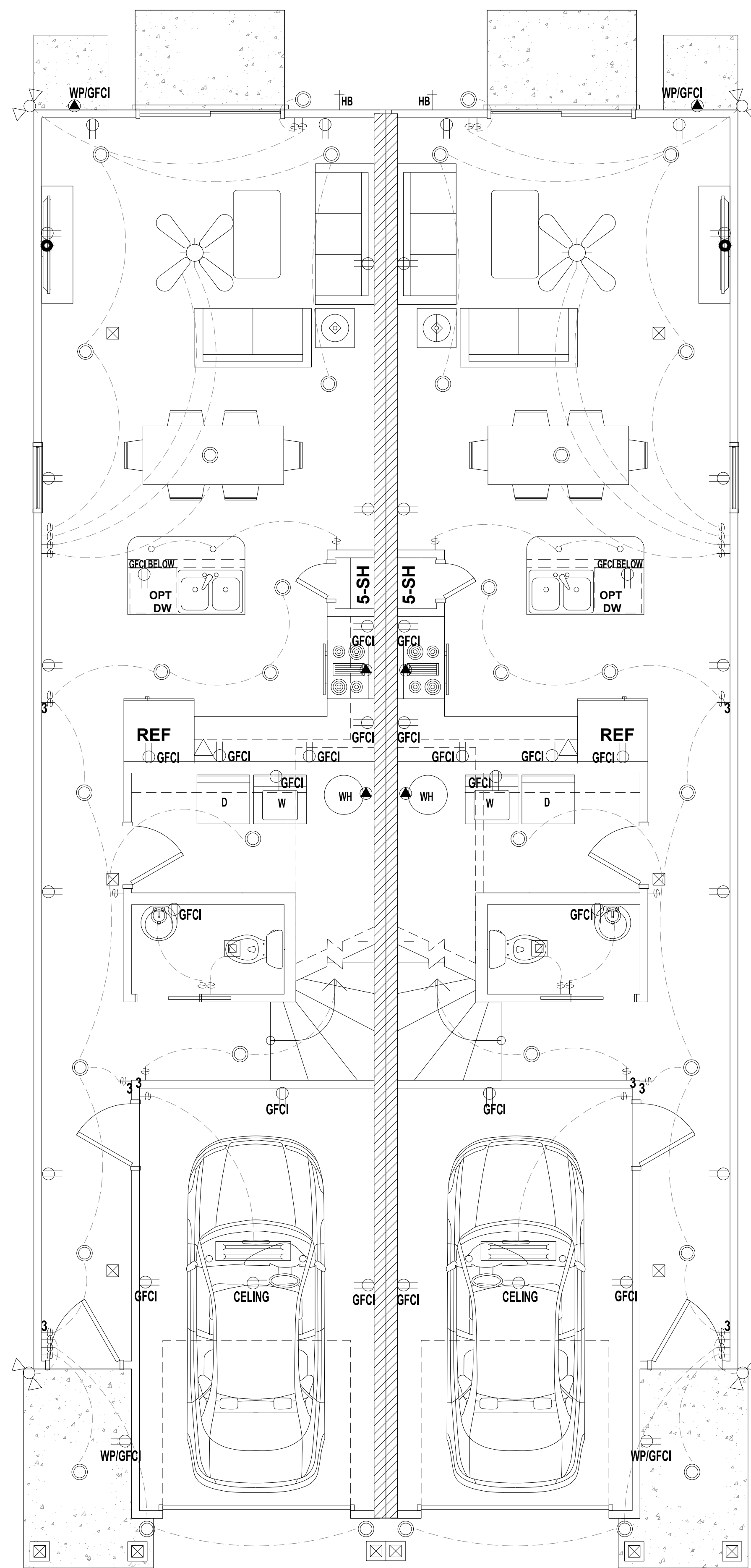
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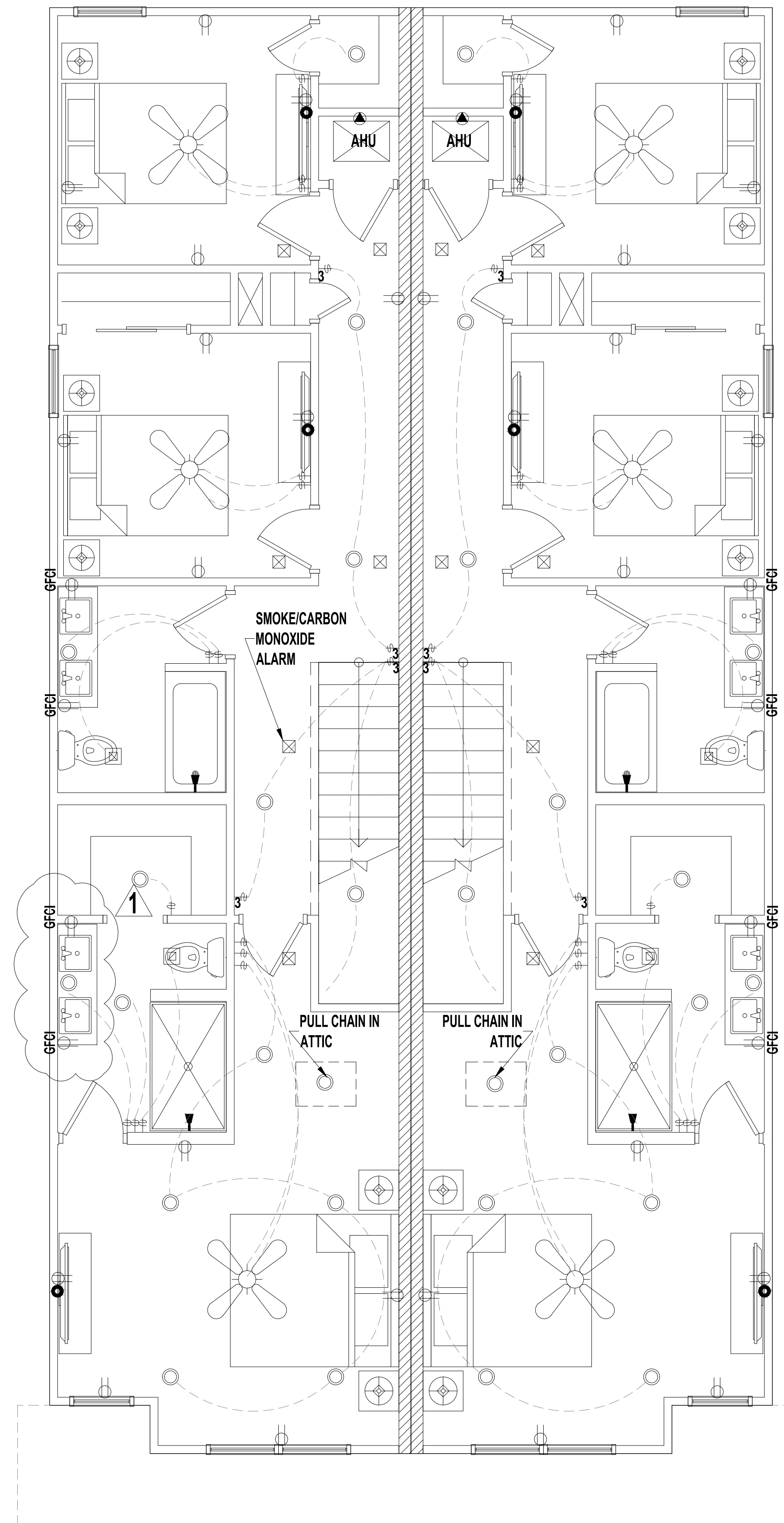
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Sheet Description
A1.2-FOUNDATION AND ROOF PLANS

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TYPICAL ELECTRIC PLAN A
SCALE: 1/4" = 1'-0"



TYPICAL ELECTRIC PLAN A
SCALE: 1/4" = 1'-0"

LEGEND

	(2) 110V OUTLETS
	(1) 220V DISCONNECT
	(2) 110V WATERPROOF GFCI OUTLETS (INTERIOR)
	(2) 110V WATERPROOF GFCI OUTLETS (EXTERIOR)
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	LIGHT FIXTURE / EXHAUST FAN
	RECESSED LIGHT FIXTURE
	PENDANT LIGHTING
	PRE-WIRE AND BRACE FOR CEILING FAN
	SMOKE/CARBON MONOXIDE DETECTOR
	OPTIONAL FLOOD LIGHT
	1'X4' FLOURESCENT LIGHT
	CABLE OUTLET
	PHONE OUTLET

- NOTES:**
1. ELECTRICAL LAYOUT MUST MEET STATE AND LOCAL CODES. ELECTRICIAN TO VERIFY.
 2. ALL FIXTURES TO BE CFL OR LED.
 3. ALL OUTLETS THAT ARE NOT GFI TO BE AFCI PROTECTED.

- FBC ENERGY NOTE:**
1. FBC ENERGY R404.1 ALL PERMANENTLY INSTALLED LUMINAIRES, EXCLUDING THOSE IN KITCHEN APPLIANCES, SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS-PER-WATT OR SHALL UTILIZE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS-PER-WATT .
 2. LAMPS TO BE INSTALLED, 100% HIGH EFFICACY CONFIRM BUILDER STANDS.

NEC 210.70 NOTE:
FOR ATTICS AND UNDERFLOOR SPACES, UTILITY ROOMS, AND BASEMENTS, AT LEAST ONE LIGHTING OUTLET CONTAINING A SWITCH OR CONTROLLED BY A WALL SWITCH OR LISTED WALL-MOUNTED CONTROL DEVICE SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING.
A POINT OF CONTROL SHALL BE AT EACH ENTRY THAT PERMITS ACCESS TO THE ATTIC AND UNDERFLOOR SPACE, UTILITY ROOM, OR BASEMENT. WHERE A LIGHTING OUTLET IS INSTALLED FOR EQUIPMENT REQUIRING SERVICE, THE LIGHTING OUTLET SHALL BE INSTALLED AT OR NEAR THE EQUIPMENT.

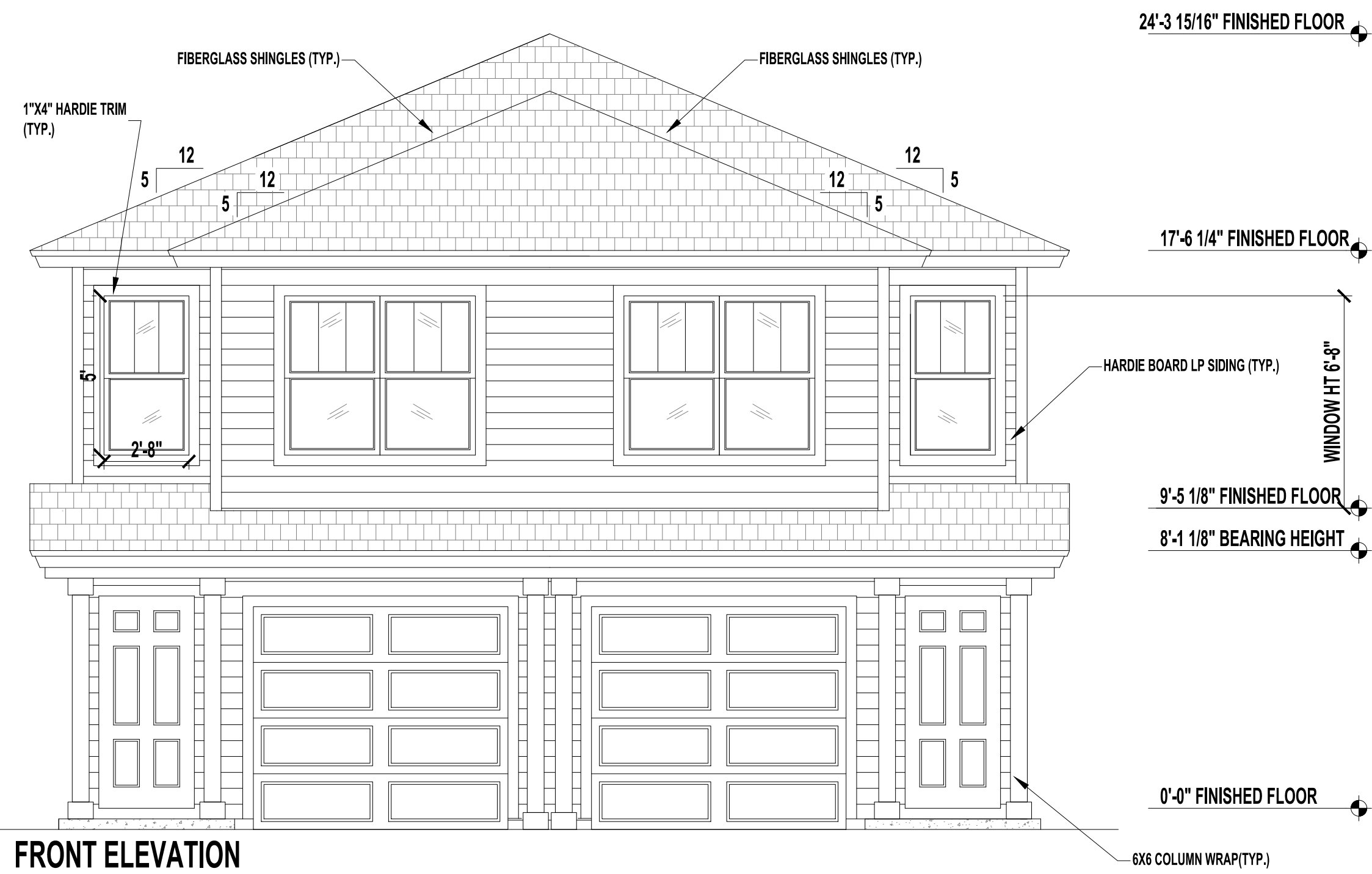
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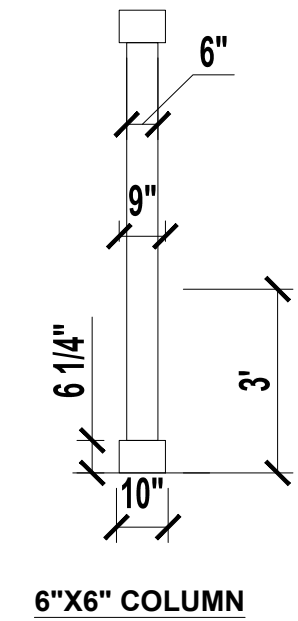
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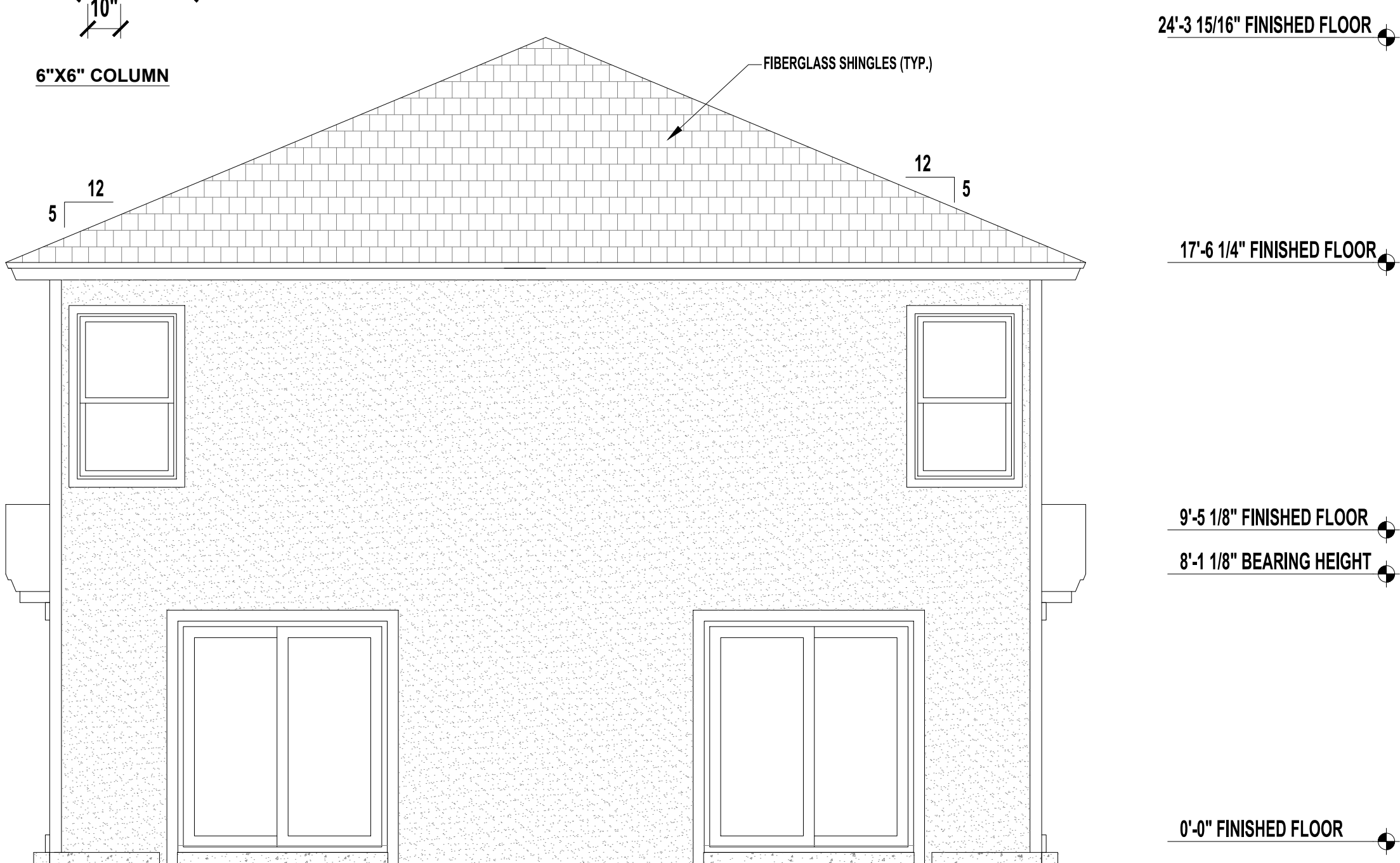


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

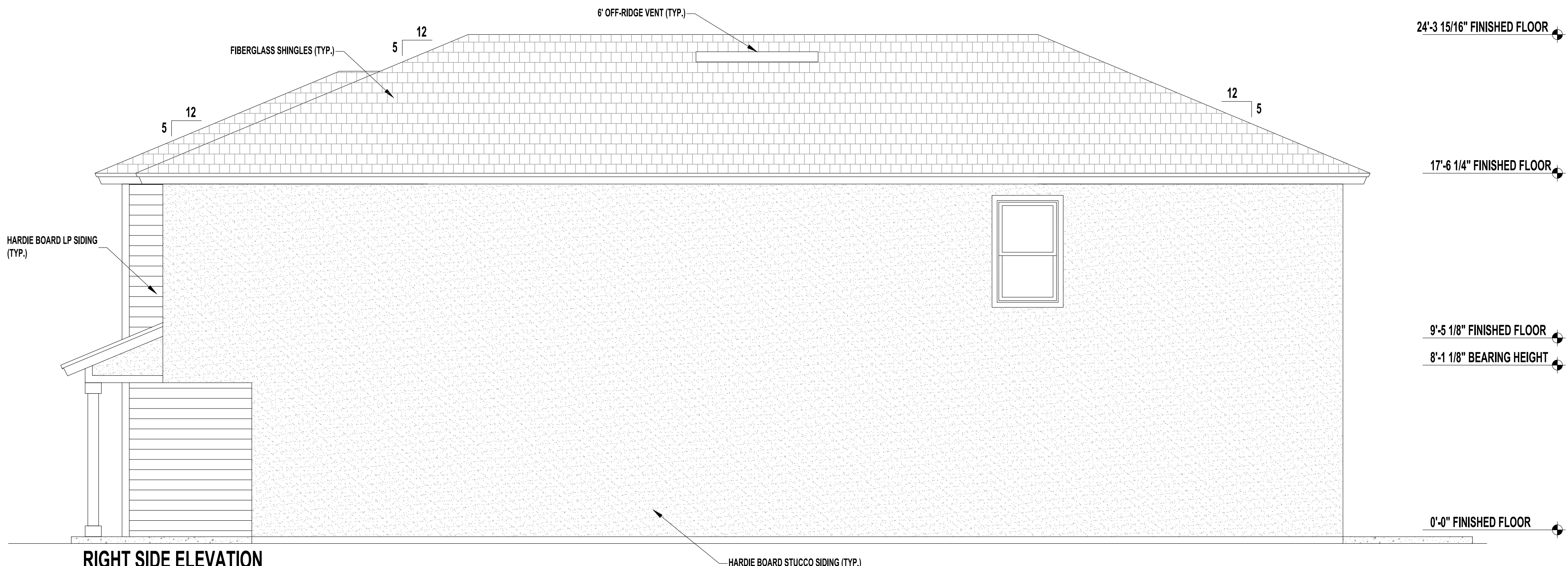


6"X6" COLUMN



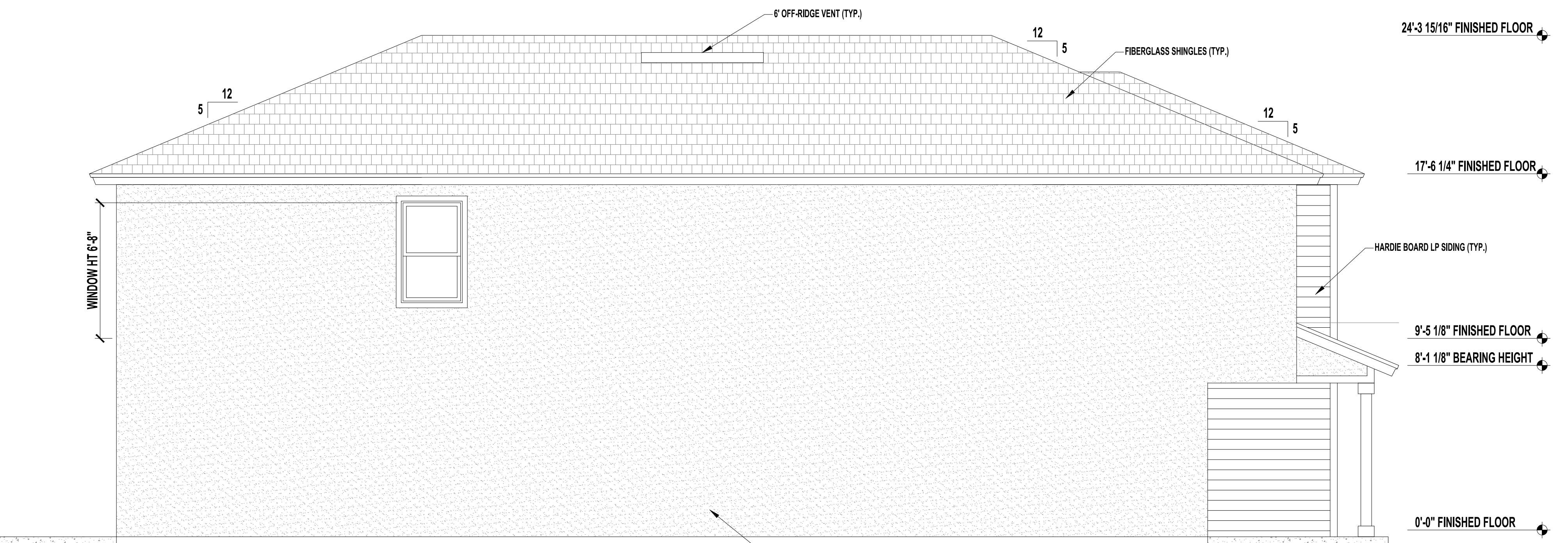
REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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A2.1-ELEVATIONS

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